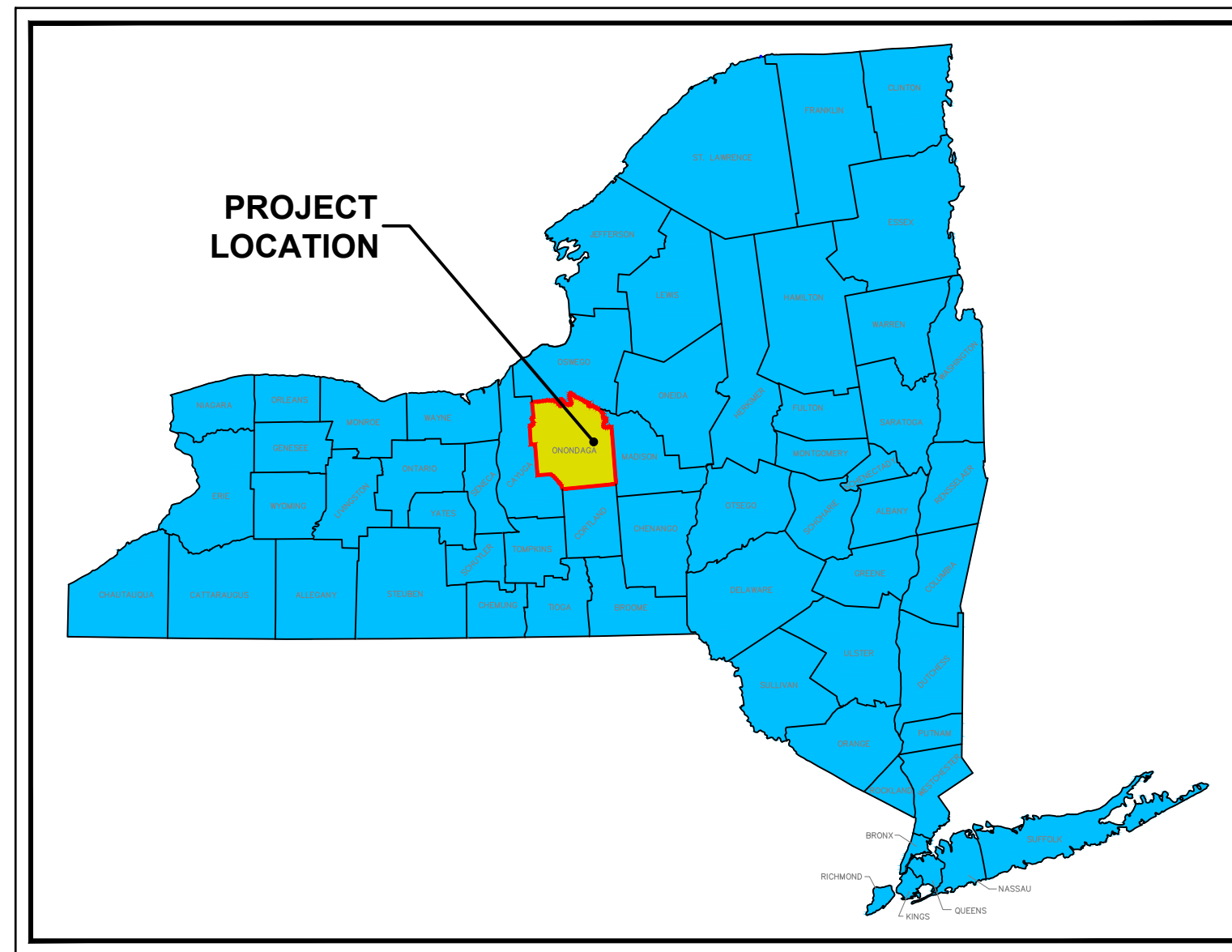
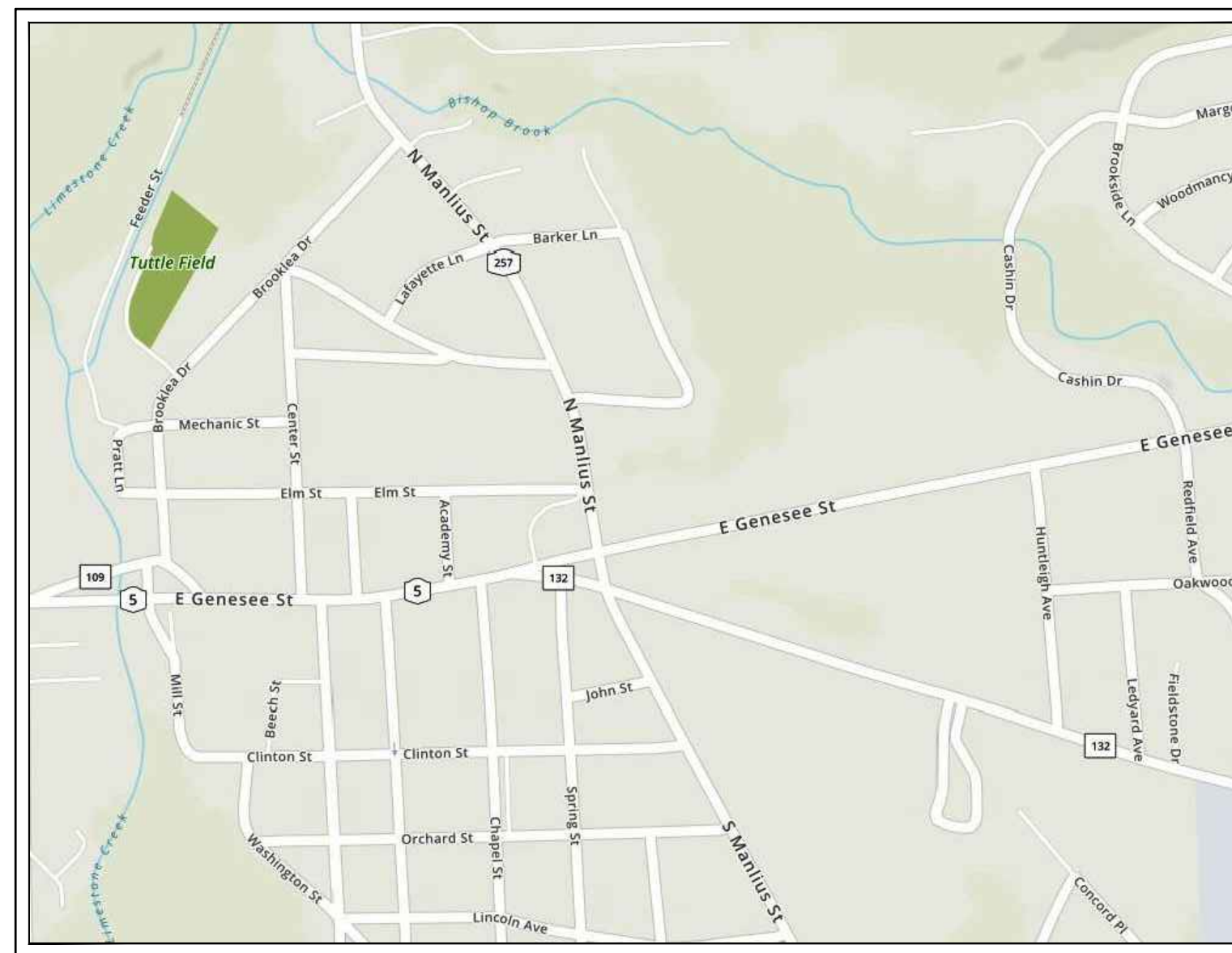


# PROPOSED GROCERY STORE 547 E. GENESEE STREET (ROUTE 5)

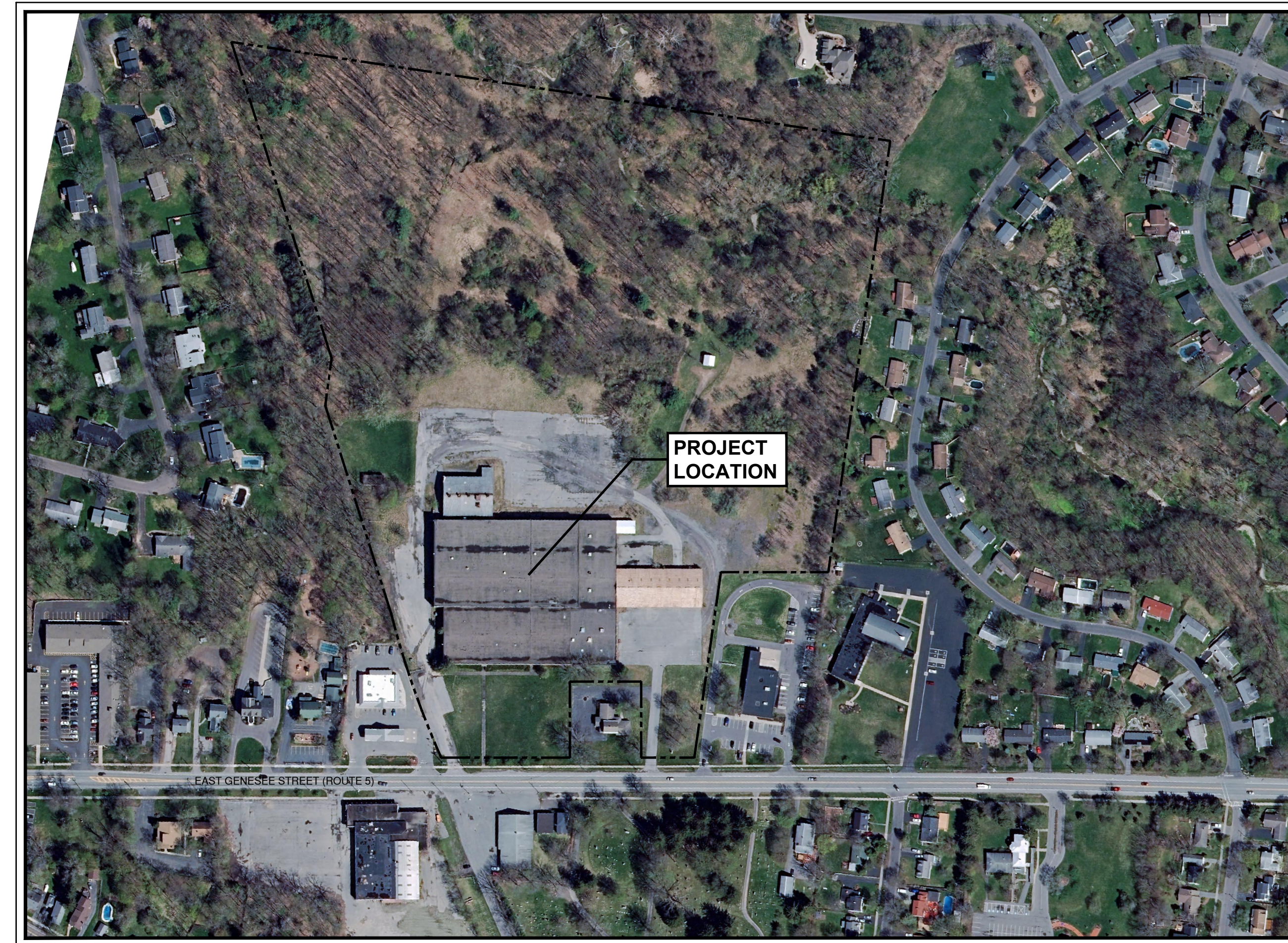
VILLAGE OF FAYETTEVILLE  
ONONDAGA COUNTY  
NEW YORK STATE



SITE LOCATION MAP  
NOT TO SCALE



PROJECT LOCATION MAP  
NOT TO SCALE



AERIAL MAP  
1" = 200'

PREPARED BY:



110 FAYETTE STREET  
MANLIUS, NEW YORK 13104

email: MNAP@NAPCON.COM  
PH: (315) 682-5580 FAX: (315) 682-5544

PREPARED FOR:

NORTHWOOD REAL ESTATE VENTURES LLC.

25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

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VILLAGE OF FAYETTEVILLE - SITE PLAN

VILLAGE PLANNING BOARD  
CHAIRPERSON SIGNATURE



APPROVED BY OWNER

NAME DATE

SHEET TITLE:

TITLE SHEET

NO.	REVISION/ISSUE	DATE
6	ISSUED TO FAYETTEVILLE PLANNING BOARD FOR APPROVAL	22 NOV 2022
5	ISSUED TO FAYETTEVILLE PLANNING BOARD FOR APPROVAL	31 OCT 2022
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	15 AUG 2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	05 JUL 2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	24 MAY 2022
1	REVISED AS PER PLANNING BOARD COMMENTS	21 MAR 2022

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ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

PROJECT NO. 19-1826	DATE 24 JAN 2022
------------------------	---------------------

PROPOSED GROCERY STORE  
547 E GENESEE STREET

C-0

VILLAGE OF FAYETTEVILLE  
ONONDAGA COUNTY, NY

PLAN SEAL BY:  
MATTHEW R. NAPIERALA, P.E.  
NYS REGISTRATION # 089733

**GENERAL NOTES**

- PROPERTY LINE INFORMATION TAKEN FROM A PLAN ENTITLED "GENERAL SURVEY BASE MAP, FORMER ACCURATE DIE CASTING FACILITY, FAYETTEVILLE, NY" PREPARED BY O'BRIEN & GERE ENGINEERS, INC.
- THE PLANS SHOW SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES, AND/OR UTILITIES FROM FIELD LOCATION AND RECORD MAPPING. EXACT LOCATION MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. THE CONTRACTOR IS TO CALL DIG SAFELY NY AT 1-800-962-7962 A MINIMUM OF 72 HOURS BEFORE DIGGING, DRILLING, OR BLASTING.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS, AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC. AND SHALL COMPLY WITH ALL PERMITS.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS.
- ALL PROPOSED UTILITIES AND APPURTENANCES ARE TO BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITY'S CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.
- THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT AS INTENDED AND INTERPRETED BY THE ENGINEER.
- MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATCHING, BLOCKING, TRIMMING, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE INFORMATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND COORDINATE WORK WITH ALL OTHER CONTRACTS FOR THE SITE.
- THE CONTRACTOR SHALL:
  - VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.
  - PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.
  - HOLD THE OWNER HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF NEW YORK STATE INDUSTRIAL CODE RULE 23 AND OSHA REGULATIONS FOR CONSTRUCTION. SHEET PILING SHALL BE DESIGNED AND SEALED BY A NEW YORK STATE PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK. HE SHALL SUBMIT A DEWATERING PLAN DESIGNED AND SEALED BY A NEW YORK STATE PROFESSIONAL ENGINEER. CONTRACTOR SHALL MAINTAIN EXISTING SITE DRAINAGE PATTERNS THROUGHOUT CONSTRUCTION.
- ALL BACKFILL USED IN TRENCHES EXCAVATED IN EXISTING ROADWAYS SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS TO 90% STANDARD PROCTOR COMPACTION.
- WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS TO 90% STANDARD PROCTOR COMPACTION.
- ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE ENGINEER AND THE UTILITY OWNER. NOTIFY THE ENGINEER AND THE UTILITY OWNER 72 HOURS BEFORE EACH AND EVERY CONNECTION TO AN EXISTING SYSTEM IS MADE.
- CONSTRUCTION OF ALL PROPOSED UTILITIES MUST BEGIN AT ITS POINT OF CONNECTION TO THE EXISTING UTILITY OR AT THE LOWEST POINT IN THE SYSTEM. RIMS, GRATES, INVERTS, CLEARANCES, AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES, AND INVERTS. THE OWNER AND HIS REPRESENTATIVES SHALL REVIEW AS-BUILT PLANS SHOWING ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR OMISSIONS TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.
- THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC IN ALL AREAS IN ACCORDANCE WITH THE NYS DOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL COMMERCIAL, RESIDENTIAL, AND PUBLIC PROPERTIES OR AS DIRECTED BY THE ENGINEER.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO EXISTING GRADE AT THE END OF EACH WORKDAY.
- THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING UTILITIES. DAMAGED UTILITIES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

**SITE DEMOLITION NOTES**

- THE GENERAL CONSTRUCTION CONTRACTOR RESPONSIBLE FOR DEMOLITION WORK AS NOTED ON THIS PLAN.
- EXISTING FEATURES ARE BASED ON A PLAN BY O'BRIEN & GERE ENGINEERS, INC.
- OWNER WILL PROVIDE AN 'ALL CLEAR' PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL CONTACT DIG SAFELY NEW YORK AT 811 FOR UTILITY STAKEOUTS A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY DEMOLITION WORK, SITE WORK, OR EXCAVATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC AND PRIVATE UTILITIES FOR RESPECTIVE REQUIREMENTS FOR THE REMOVAL/ABANDONMENT OF UTILITY MAINS/LATERALS SERVICING THE SITE.

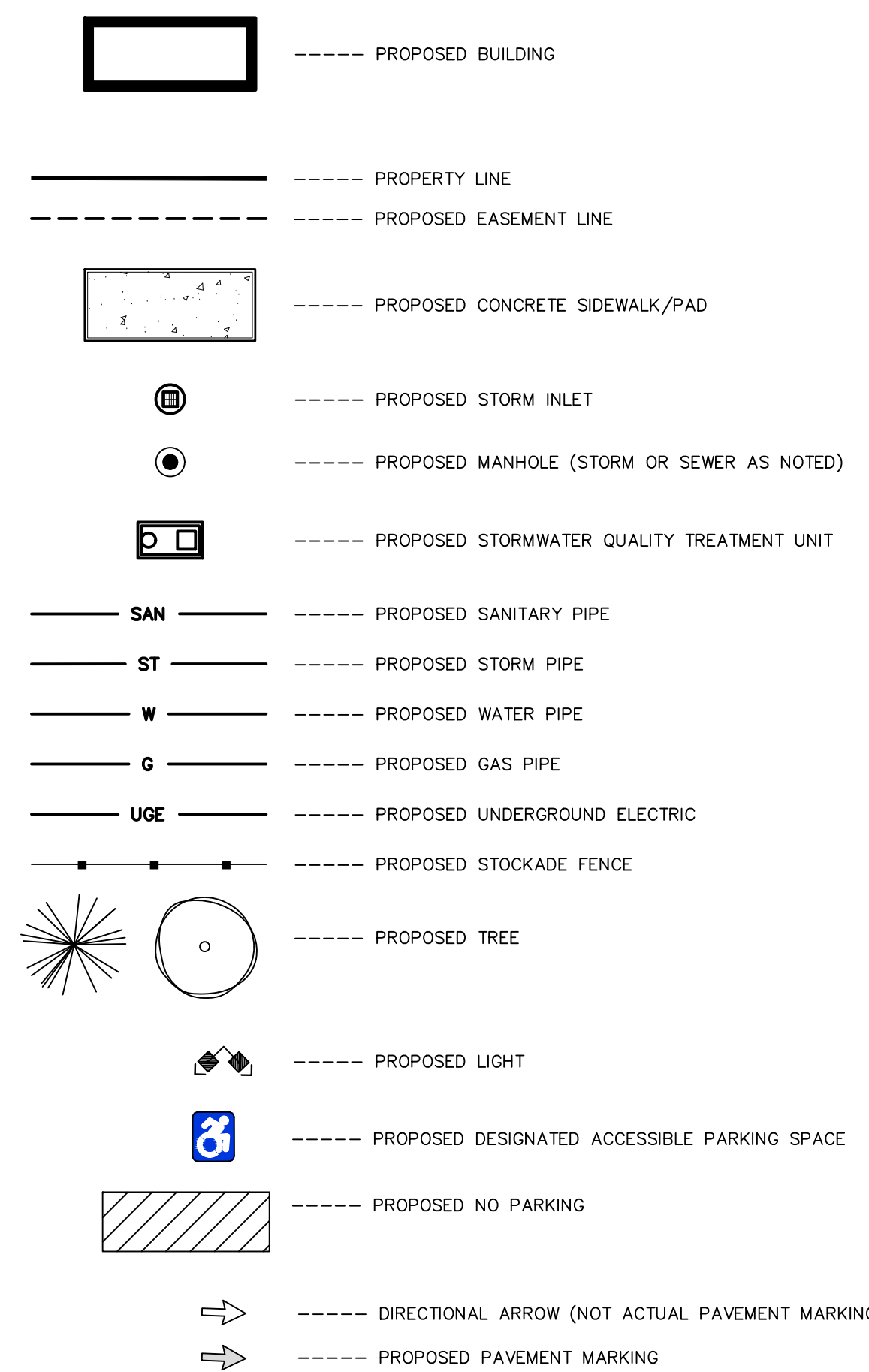
**GRADING NOTES**

- MAXIMUM SLOPE FOR ALL CUT AND FILL LAWN AREAS SHALL BE 3H:1V UNLESS SHOWN OTHERWISE ON PLANS.
- SLOPES GREATER THAN 4H:1V SHALL BE STABILIZED IMMEDIATELY AFTER GRADING OCCURS IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT AND BECOME FAMILIAR WITH THE SOIL CONDITIONS ON THE SITE. CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND REQUIREMENTS FROM THE GEOTECHNICAL ENGINEER.
- UNLESS OTHERWISE NOTED, LIMITS OF DISTURBANCE ARE AS REPRESENTED BY PROPOSED GRADES. NO GRADING SHALL TAKE PLACE BEYOND LIMITS SHOWN.
- ALL SLOPES STEEPER THAN 3H:1V SHALL BE TREATED WITH AN EROSION CONTROL PRACTICE SUCH AS A ROLLED EROSION CONTROL BLANKET OR RIPRAP. SEE DESIGNATED AREAS ON PLANS.

**UTILITY NOTES**

- ALL CONSTRUCTION SHALL CONFORM WITH APPROPRIATE CODE AND REGULATORY REQUIREMENTS.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH MUNICIPAL REGULATIONS AND THE STANDARDS OF THE PRIVATE UTILITY COMPANIES.
- THESE PLANS SHOW PUBLIC UTILITY CONNECTION ONLY. PRIVATE UTILITY SERVICE FINAL LOCATION, SIZE AND DEPTH ARE SUBJECT TO THE APPROVAL OF THE UTILITY COMPANY.
- EXTERIOR BUILDING LIGHTING LUMINAIRES SHALL BE OF SIZE AND TYPE, AND AT LOCATIONS SPECIFIED BY THE ARCHITECTS ELECTRICAL SITE PLAN AND SHALL CONFORM TO THE MUNICIPAL ZONING REQUIREMENTS.
- WATER WATER LINES, FITTINGS AND APPURTENANCES TO BE IN CONFORMANCE WITH APPROPRIATE CODE AND REGULATORY REQUIREMENTS. VERIFY EXISTING LINE SIZE AND LOCATION PRIOR TO CONSTRUCTION. ALL WATER LINES MUST MAINTAIN A MINIMUM 10' HORIZONTAL SEPARATION WITH SANITARY SEWER AND STORM SEWER LINES. ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE MUNICIPAL WATER DEPARTMENT.
- SANITARY SEWER SANITARY SEWERS SHALL BE PVC PER ASTM D3034 SDR 35 UNLESS OTHERWISE NOTED. SUITABLE COUPLINGS AND ADAPTERS SHALL BE PROVIDED AT BUILDING CONNECTIONS.
- STORM DRAINAGE STORM DRAINAGE PIPING SHALL BE SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICPP) UNLESS OTHERWISE NOTED (SICPP). PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 OR AASHTO M294.
- ELECTRIC AND GAS ALL ELECTRIC AND GAS INSTALLATION SHALL BE COORDINATED WITH NATIONAL GRID. ALL SITE ELECTRIC IS TO BE PROVIDED BY THE BUILDING ARCHITECT/PROJECT ELECTRICIAN. THESE DRAWINGS DO NOT SHOW CIRCUITING OR SITE WIRING. REFER TO SITE ELECTRICAL BY ELECTRICIAN.

**LEGEND: PROPOSED (SEE EXISTING CONDITION SURVEY FOR LEGEND OF EXISTING ELEMENTS)**



**LANDSCAPE NOTES**

TEMPORARY SEEDING MIXTURES		PERMANENT SEEDING MIXTURES	
LBS./ACRE	LBS./1000 SQ. FT.	SEED MIXTURE NO. 1	LBS./ACRE
FOR SPRING, SUMMER OR EARLY FALL SEEDINGS:		CREeping RED FESCUE (var. ENSYLVA)	10
A. ANNUAL RYEGRASS -OR-	30	PERENNIAL RYE GRASS (var. PENNFINE)	10
B. PERENNIAL RYEGRASS	30	0.70	
FOR LATE FALL OR EARLY WINTER		SEED MIXTURE NO. 2	
A. WINTER RYE (AROSTOOK)	100	2.50	
MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROXIMATELY 2 LARGE ROLLED BALES/ACRE).		SEED MIXTURE NO. 3	
MULCH ANCHORING IS REQUIRED WHERE WIND OR AREAS OF CONCENTRATED WATER ARE OF CONCERN.		BIRDSFOOT TREFOL (var. EMPIRE, PARDEE)	10
		REDTOP	2
		TALL FESCUE (var. KY 31, REBEL)	20
		SEED MIXTURE NO. 4	
		CREeping RED FESCUE (var. ENSYLVA)	20
		CHEWINGS FESCUE (COMMON)	20
		PERENNIAL RYE GRASS (var. PENNFINE)	5
		RED CLOVER (COMMON)	10
		SEED MIXTURE 1 TO BE APPLIED TO SHADED AREAS.	
FERTILIZER:		SEED MIXTURE 2 IS IN PURE LIVE SEED. TO BE APPLIED TO AREAS UPLAND OF WETLANDS AND ALONG STORMWATER MITIGATION BASIN BANKS.	
5% NITROGEN			
0% PHOSPHORUS			
5% POTASH			
HYDROMULCH		SEED MIXTURE 3 TO BE APPLIED TO ALL SWALES AND WATERWAYS. WHITE CLOVER OR LADINO CLOVER MAY BE SUBSTITUTED FOR BIRDSFOOT TREFOL AND SEEDED AT THE SAME RATE.	
(50% PAPER - 50% WOOD)		PERENNIAL RYEGRASS MAY BE SUBSTITUTED FOR REDTOP BUT INCREASE SEEDING RATE TO 5 LBS./ACRE (0.1 LBS./1000 SQ. FT.)	
IF MULCHING IS NOT APPLIED WITH HYDROSEED MIXTURE, APPROVED MULCHING, CONSISTING OF STALKS OF WHEAT, OATS, OR RYE, SHALL BE SPREAD EVENLY AT A RATE OF 2 TONS PER ACRE. MULCH IS TO BE TACKED INTO PLACE.		SEED MIXTURE 4 TO BE APPLIED TO ALL AREAS. (NOT FOR USE IN PLAYGROUNDS OR AS TURF)	

METHOD OF SEEDING BROADCAST, DRILLING WITH A CULTIPACK TYPE SEEDER, OR HYDROSEEDING ARE ACCEPTABLE. GOOD SOIL TO SEED CONTACT IS THE KEY TO SUCCESSFUL SEEDINGS.

MULCHING APPLY STRAW MULCH AT A RATE OF 2 TON/ACRE (90 LBS./1,000 SF) ANCHORED WITH WOOD FIBER MULCH (HYDROMULCH) AT 500 - 750 LBS./ACRE (11 - 17 LBS./1,000 SF). THE WOOD FIBER MULCH MUST BE APPLIED THROUGH A HYDROSEEDER AFTER MULCHING.

IRRIGATION WATERING MAY BE ESSENTIAL TO ESTABLISH TO NEW SEEDING. WEATHER CONDITIONS WILL DICTATE WHEN TO WATER. EACH APPLICATION MUST BE UNIFORMLY APPLIED AND 1 TO 2 INCHES OF WATER SHOULD BE APPLIED PER APPLICATION.

PERMANENT SEEDING TO OCCUR AFTER FINAL GRADING HAS OCCURRED. PERMANENT SEEDING WILL INCLUDE:
 

- SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5 PERCENT.
- REMOVE REFUSE, WOOD PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

TOPSOIL MATERIALS
 

- TOPSOIL SHALL HAVE AT LEAST 2 PERCENT AND NO GREATER THAN 6 PERCENT BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL.
- TOPSOIL SHALL HAVE NOT LESS THAN 20 PERCENT FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15 PERCENT CLAY.
- TOPSOIL TREATED WITH SOIL STERILANTS OR HERBICIDES SHALL BE SO IDENTIFIED TO THE PURCHASER.
- TOPSOIL SHALL BE RELATIVELY FREE OF STONES OVER 1 1/2 INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS SUCH AS NUTSEED AND QUACKGRASS, AND WILL HAVE LESS THAN 10% GRAVEL BY VOLUME.
- TOPSOIL CONTAINING SOLUBLE SALTS GREATER THAN 500 PPM SHALL NOT BE USED.

APPLICATION AND GRADING
 

- TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SLOPES OR OVER ICE, SNOW, OR STANDING WATER PUDDLES.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.
- A MINIMUM OF 4 INCHES OF TOPSOIL IS TO BE USED IN ALL AREAS.

SOIL AMENDMENTS
 

- LIME TO A PH OF 7.0. LIME IS NOT TO BE APPLIED WITHIN 50 FEET OF STREAMS AND WETLANDS.
- FERTILIZER APPLICATION RATE TO BE BASED ON SOIL TESTS.
  - IN NO CASE SHALL FERTILIZER BE APPLIED BETWEEN DECEMBER 1 AND APRIL 1 ANNUALLY.
  - FERTILIZER SHALL NOT BE SPREAD WITHIN 20 FEET OF A SURFACE WATER.
  - ANY FERTILIZER FALLING OR SPILLED INTO IMPERVIOUS SURFACE AREAS SUCH AS PARKING LOTS, ROADWAYS, AND SIDEWALKS SHALL BE IMMEDIATELY CONTAINED AND LEGALLY APPLIED OR PLACED IN AN APPROPRIATE CONTAINER.
  - INCORPORATE THE FERTILIZER, AND LIME IF SPECIFIED, INTO THE TOP 2 - 4 INCHES OF THE TOPSOIL OR SOIL PROFILE.
  - WHEN APPLYING FERTILIZER BY HYDROSEEDING CARE SHOULD BE TAKEN TO APPLY MIX ONLY TO SEED BED AREAS AT AN APPROPRIATE FLOW RATE TO PREVENT EROSION AND SPRAYING ONTO IMPERVIOUS AREAS.

PROJECT TITLE: **PROPOSED GROCERY STORE 547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
 PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
 25 PARCE AVENUE, SUITE 155 FAIRPORT, NY 14450

**GENERAL NOTES**

NO.	REVISION/ISSUE	DATE
6	ISSUED FOR PLANNING BOARD APPROVAL	11/2/22
5	ISSUED FOR PLANNING BOARD APPROVAL	10/3/22
4	REVISED AS PER VILLAGE ENGINEER/PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER/PLANNING BOARD COMMENTS	7/05/2022
2	REVISED AS PER VILLAGE ENGINEER/PLANNING BOARD COMMENTS	5/24/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

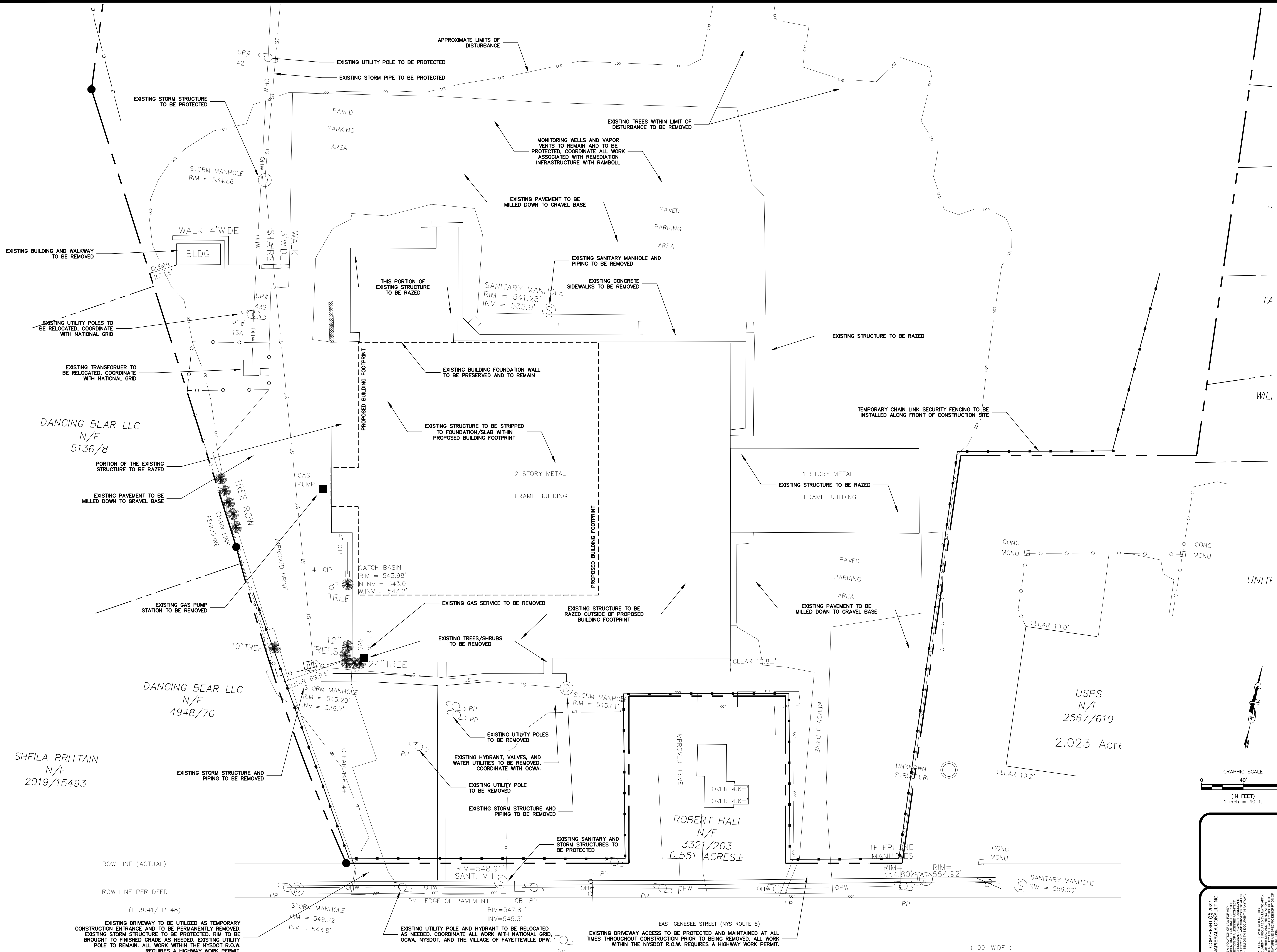
PREPARED BY: **NAPIERALA CONSULTING**  
 PROFESSIONAL ENGINEER, P.E.  
 SITE DESIGN • ENGINEERING  
 110 FAYETTE STREET  
 MANLIUS, NEW YORK 13104  
 email: MNAAP@NAPCON.COM  
 PH: (315) 682-5560 FAX: (315) 682-5544

PROJECT NO. **19-1826**  
 DATE **24 JAN 2022**  
 SCALE **NTS**

SHEET **C-1**

PLAN SEAL BY: **NAPIERALA, P.E.**  
 NYS REGISTRATION # 060733

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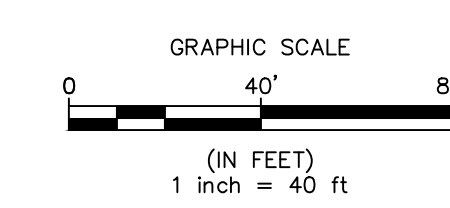
PROJECT TITLE:  
**PROPOSED GROCERY STORE**  
**547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
 PREPARED FOR:  
**NORTHWOOD REAL ESTATE VENTURES, LLC.**  
 25 PARCE AVENUE, SUITE 155  
 FAIRPORT, NY 14450

SHEET TITLE:  
**SITE PREPARATION**  
**AND DEMOLITION PLAN**

NO.	REVISION/ISSUE	DATE
6	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
5	ISSUED FOR PLANNING BOARD APPROVAL	10/31/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
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1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

PREPARED BY:  
**NAPIERALA CONSULTING**  
 PROFESSIONAL ENGINEER, P.C.  
 STATE OF NEW YORK  
 110 FAYETTE STREET  
 MANLIUS, NEW YORK 13104  
 email: MNAP@NAPCON.COM  
 PH: (315) 682-5580 FAX: (315) 682-5544

PROJECT NO. 19-1826  
 DATE 24 JAN 2022  
 SCALE 1" = 40'  
 SHEET C-3.1



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DANCING BEAR LLC  
 N/F  
 5136/8

DANCING BEAR LLC  
 N/F  
 4948/70

SHEILA BRITAIN  
 N/F  
 2019/15493

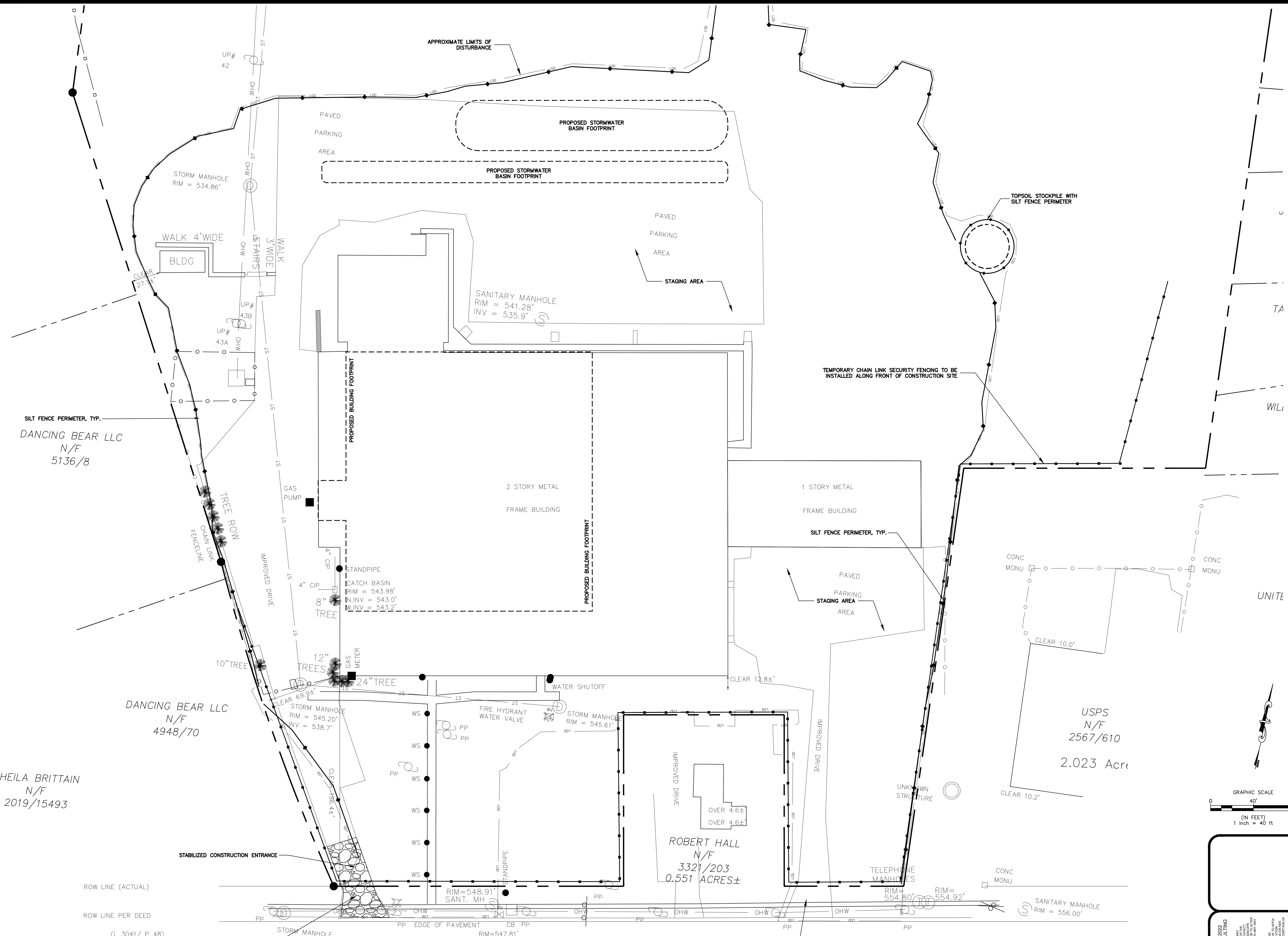
ROBERT HALL  
 N/F  
 3321/203  
 0.551 ACRES±

USPS  
 N/F  
 2567/610  
 2.023 Acres

(L 3041/ P 48)  
 EXISTING DRIVEWAY TO BE UTILIZED AS TEMPORARY CONSTRUCTION ENTRANCE AND TO BE PERMANENTLY REMOVED. EXISTING STORM STRUCTURE TO BE PROTECTED. RIM TO BE BROUGHT TO FINISHED GRADE AS NEEDED. EXISTING UTILITY POLE TO REMAIN. ALL WORK WITHIN THE NYS DOT R.O.W. REQUIRES A HIGHWAY WORK PERMIT.

EAST GENESEE STREET (NYS ROUTE 5)  
 EXISTING DRIVEWAY ACCESS TO BE PROTECTED AND MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION PRIOR TO BEING REMOVED. ALL WORK WITHIN THE NYS DOT R.O.W. REQUIRES A HIGHWAY WORK PERMIT.

( 99' WIDE )



DANCING BEAR LLC  
N/F  
5136/8

DANCING BEAR LLC  
N/F  
4948/70

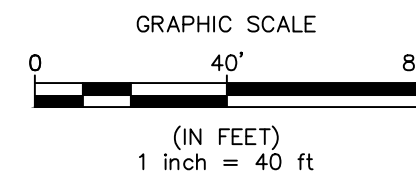
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**PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**  
VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
PREPARED FOR:  
NORTHWOOD REAL ESTATE VENTURES, LLC.  
25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

SHEET TITLE:  
**PRELIMINARY  
EROSION CONTROL PLAN**

NO.	REVISION/ISSUE	DATE
6	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
5	ISSUED FOR PLANNING BOARD APPROVAL	10/31/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

PREPARED BY:  
**NAPIERALA  
CONSULTING**  
PROFESSIONAL ENGINEER, P.C.  
SHEILA BRITAIN, P.E.  
DESIGN • ENGINEERING  
110 FAYETTE STREET  
MANLIUS, NEW YORK 13104  
email: MNAP@NAPCON.COM  
PH: (315) 682-5580 FAX: (315) 682-5544

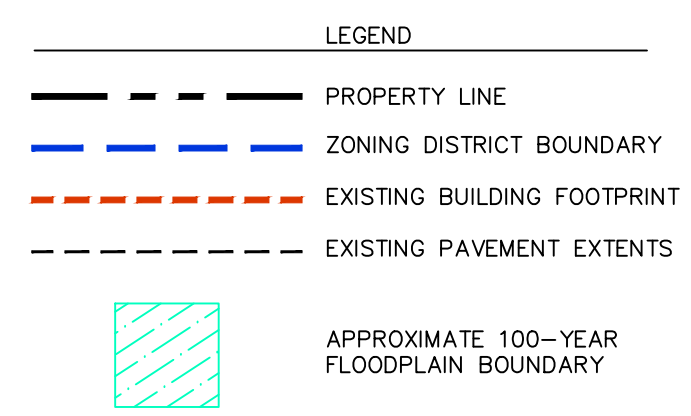
PROJECT NO. 19-1826  
DATE 24 JAN 2022  
SCALE 1" = 40'

SHEET  
C-3-2

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PROJECT SITE INFORMATION		
ADDRESS	547 GENESEE STREET (NYS ROUTE 5)	
TAX MAP ID NO.	009-04-19.1	
BOUNDARY SURVEY	PROPERTY LINE INFORMATION TAKEN FROM SURVEY BY O'BRIEN & GERE ENGINEERS, INC.	
TOTAL SITE AREA	32.92 ACRES	
EXISTING LAND USE	VACANT INDUSTRIAL/MANUFACTURING	
PROPOSED LAND USE	GROCERY STORE	
EXISTING BUILDING SIZE	±137,000 SF	
PROPOSED BUILDING SIZE	56,550 SF	
ZONING INFORMATION - GROCERY STORE		
ZONING DISTRICT	INDUSTRIAL (I)	
	REQUIRED	PROVIDED*
BUILDING HEIGHT	35'	30'
LOT COVERAGE	35%	4%
FRONT YARD SETBACK	35'	256'
REAR YARD SETBACK	25'	371'
SIDE YARD SETBACK	10'	100'
BUFFER ZONE	30'	140'
PARKING DIMENSIONS	10'x20'	10'x20'
PARKING AISLE WIDTH	24'	24' TO 28' VAR
PARKING SPACES	1 SP/200 SF	283 PARKING SPACES
	283 PARKING SPACES	284 PARKING SPACES



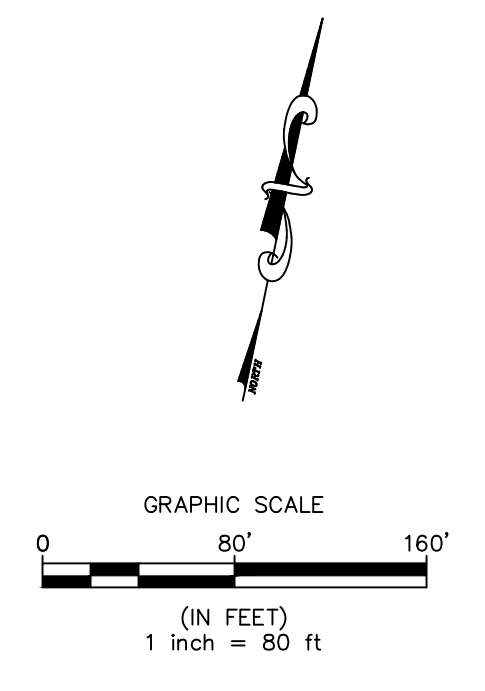
PROJECT TITLE: **PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
 PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
 25 PARCE AVENUE, SUITE 155  
 FAIRPORT, NY 14450

SHEET TITLE: **OVERALL LAYOUT**

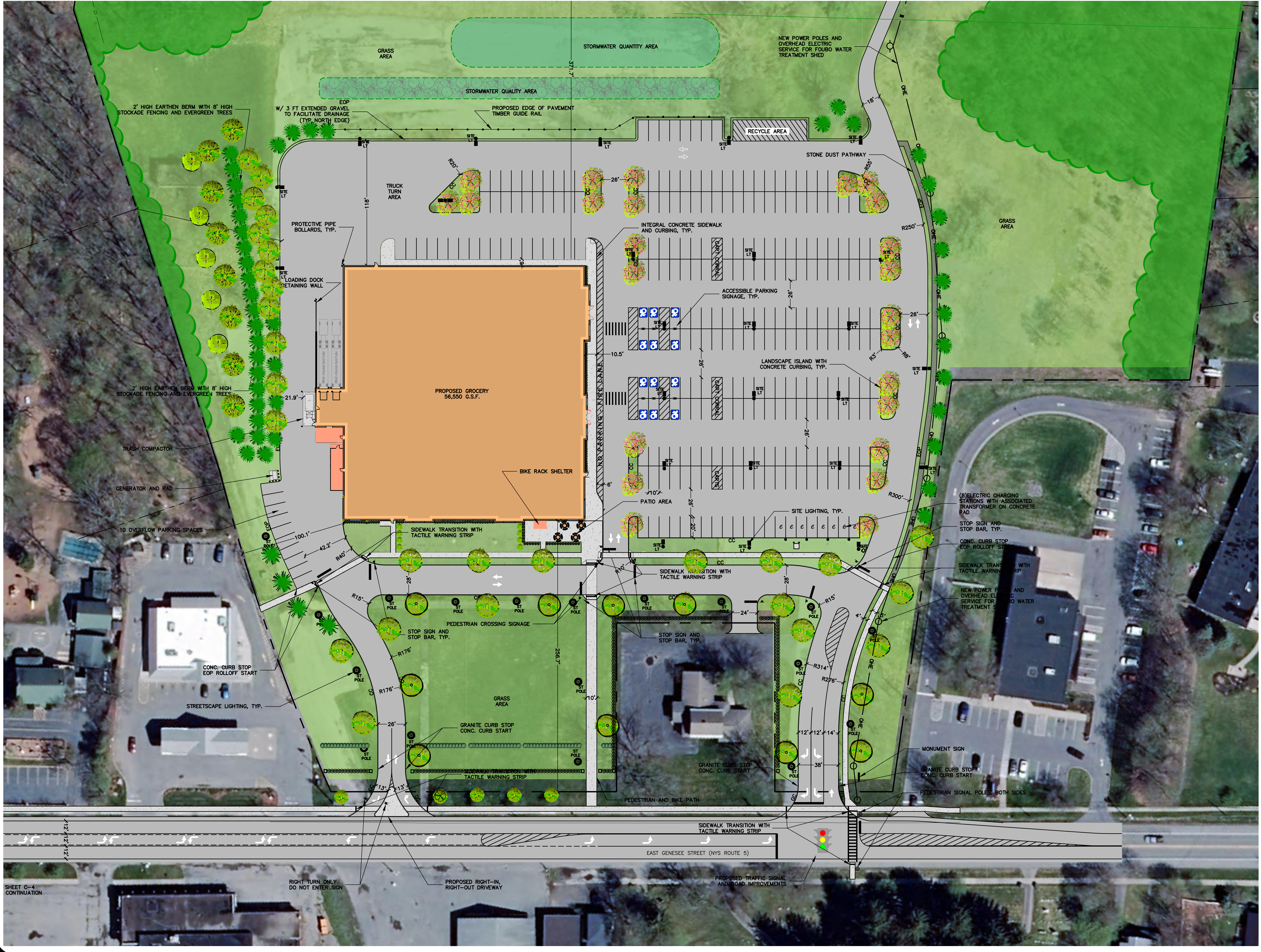
NO.	REVISION/ISSUE	DATE
7	ISSUED FOR PLANNING BOARD APPROVAL	1/12/22
6	UPDATED LANDSCAPING - SOUTH END OF SITE	10/10/22
5	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
2	REVISED AS PER PLANNING BOARD COMMENTS	5/02/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

PREPARED BY: **NAPIERALA CONSULTING**  
 PROFESSIONAL ENGINEER, P.C.  
 SITE DESIGN • ENGINEERING  
 110 FAYETTE STREET  
 MANHATTAN, NEW YORK 13104  
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PROJECT NO. **19-1826**  
 DATE **24 JAN 2022**  
 SCALE **1" = 80'**  
 SHEET **C-4**

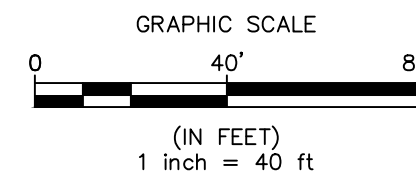


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CONTINUATION

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PROJECT NO. 19-1826  
DATE 24 JAN 2022  
SCALE 1" = 40'

PREPARED BY: NAPIERALA CONSULTING  
PROFESSIONAL ENGINEER, P.E.  
110 FAYETTE STREET  
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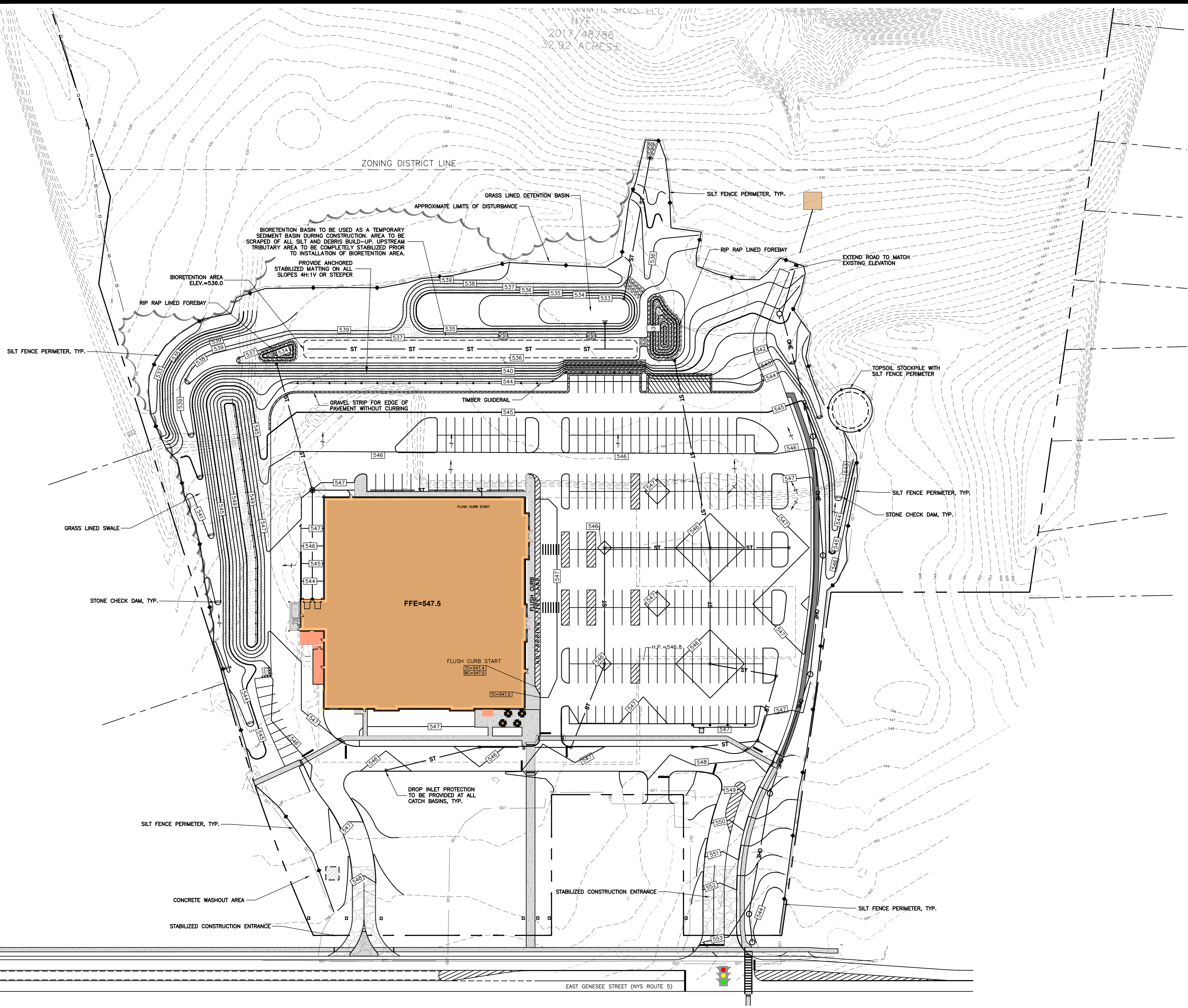
SHEET TITLE:  
**DETAILED LAYOUT PLAN**

PROJECT TITLE:  
**PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**  
VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
PREPARED FOR:  
NORTHWOOD REAL ESTATE VENTURES, LLC.  
25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

2017/48786  
32.92 ACRES

**GRADING PLAN LEGEND**

- 458 --- EXISTING CONTOUR GRADES
- 459 --- PROPOSED CONTOUR GRADES
- ⊙ PROPOSED CATCH BASIN
- ST PROPOSED STORM PIPING
- [Grid Pattern] ANCHORED STABILIZATION MATTING
- [Stippled Pattern] STABILIZED CONSTRUCTION ENTRANCE/EXIT
- [Dashed Line] SILT FENCE
- [Cross-hatch] CONCRETE WASHOUT AREA
- [Triangle] FLARED METAL END SECTION WITH RIP RAP OUTLET PROTECTION
- [Stone Pattern] STONE CHECK DAM
- LDD --- LIMITS OF DISTURBANCE



PROJECT TITLE: **PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**  
VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

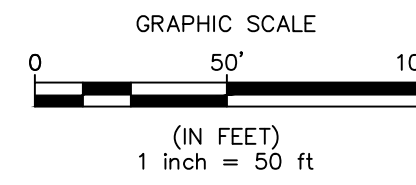
**OVERALL GRADING AND  
EROSION CONTROL PLAN**

NO.	REVISION/ISSUE	DATE
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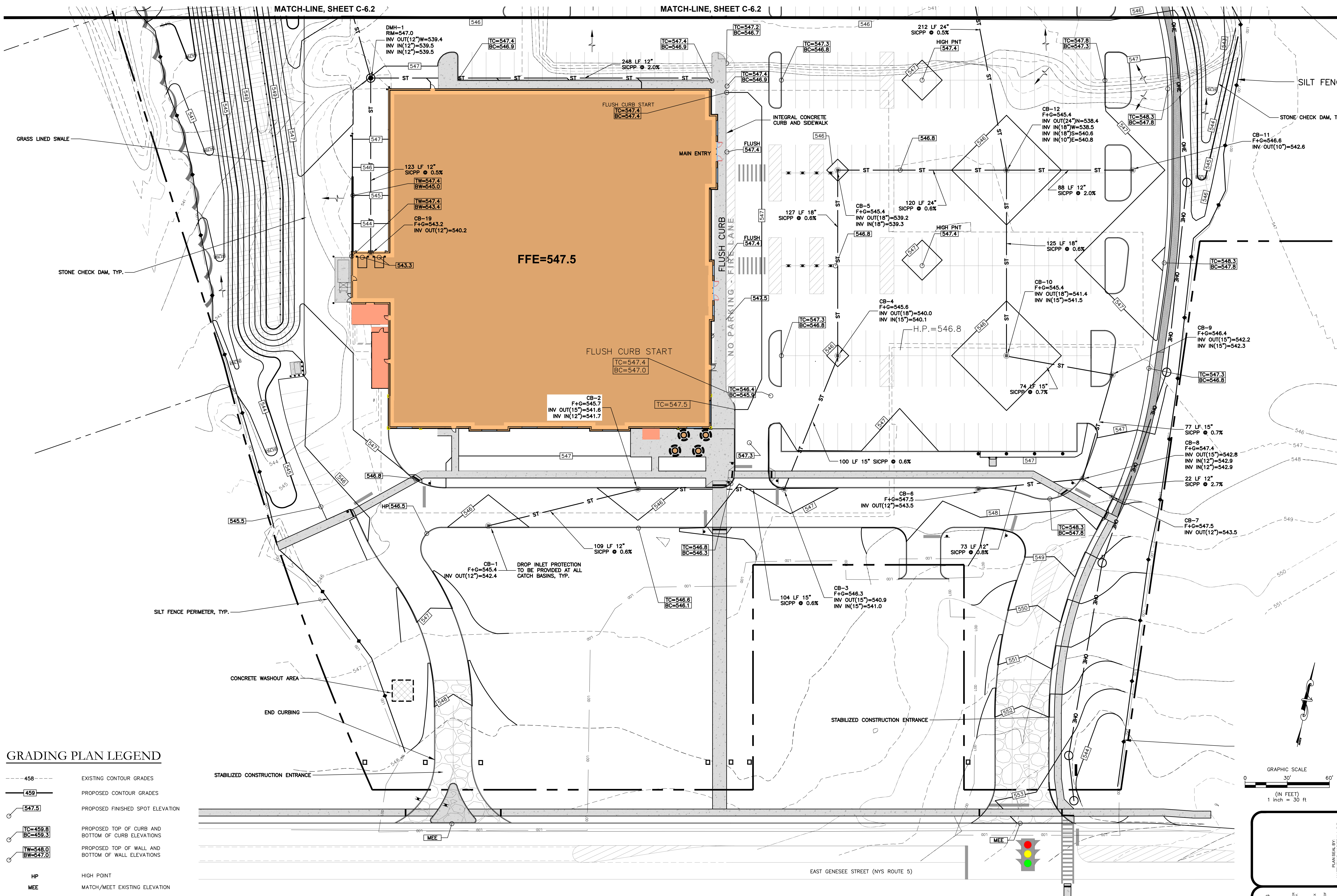
PREPARED BY:  
**NAPIERALA CONSULTING**  
PROFESSIONAL ENGINEER, P.E.  
SPECIALTY: DESIGN • ENGINEERING  
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MANLIUS, NEW YORK 13104  
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PROJECT NO.	19-1826
DATE	24 JAN 2022
SCALE	1" = 50'

**C-6.0**



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**GRADING PLAN LEGEND**

- 458 --- EXISTING CONTOUR GRADES
- 459 --- PROPOSED CONTOUR GRADES
- 547.5 --- PROPOSED FINISHED SPOT ELEVATION
- TC=459.8  
BC=459.3 --- PROPOSED TOP OF CURB AND  
BOTTOM OF CURB ELEVATIONS
- TW=548.0  
BW=547.0 --- PROPOSED TOP OF WALL AND  
BOTTOM OF WALL ELEVATIONS
- HP --- HIGH POINT
- MEE --- MATCH/MEET EXISTING ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED STORM PIPING
- FLARED METAL END SECTION WITH  
RIP RAP OUTLET PROTECTION

PROJECT TITLE:  
**PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**

VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY

PREPARED FOR:  
NORTHWOOD REAL ESTATE VENTURES, LLC.

25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

SHEET TITLE:  
**DETAILED GRADING PLAN**

NO.	REVISION/ISSUE	DATE
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PROJECT NO. 19-1826

DATE 24 JAN 2022

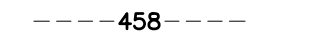
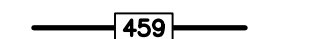
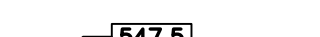
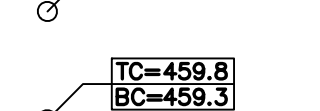
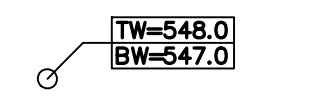





SCALE 1" = 30'

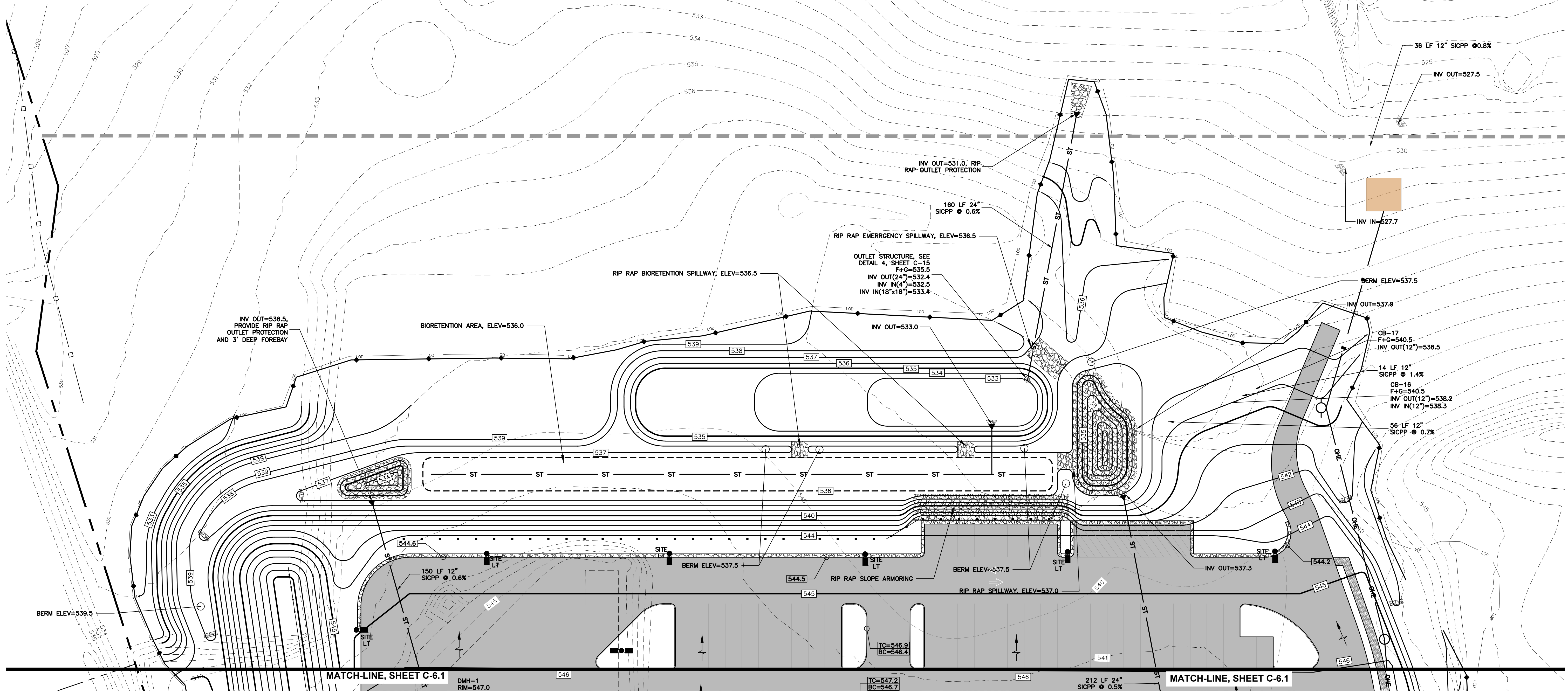
SHEET  
**C-6.1**

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**GRADING PLAN LEGEND**

-  EXISTING CONTOUR GRADES
-  PROPOSED CONTOUR GRADES
-  PROPOSED FINISHED SPOT ELEVATION
-  PROPOSED TOP OF CURB AND BOTTOM OF CURB ELEVATIONS
-  PROPOSED TOP OF WALL AND BOTTOM OF WALL ELEVATIONS
-  HIGH POINT
-  MATCH/MEET EXISTING ELEVATION
-  PROPOSED CATCH BASIN
-  PROPOSED STORM PIPING
-  FLARED METAL END SECTION WITH RIP RAP OUTLET PROTECTION



PROJECT TITLE:  
**PROPOSED GROCERY STORE**  
**547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
 PREPARED FOR:  
 NORTHWOOD REAL ESTATE VENTURES, LLC.  
 25 PARCE AVENUE, SUITE 155  
 FAIRPORT, NY 14450

SHEET TITLE:  
**DETAILED GRADING PLAN**

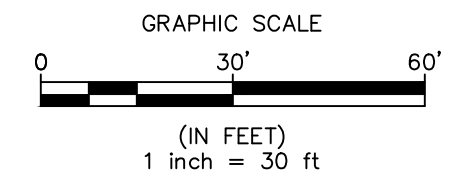
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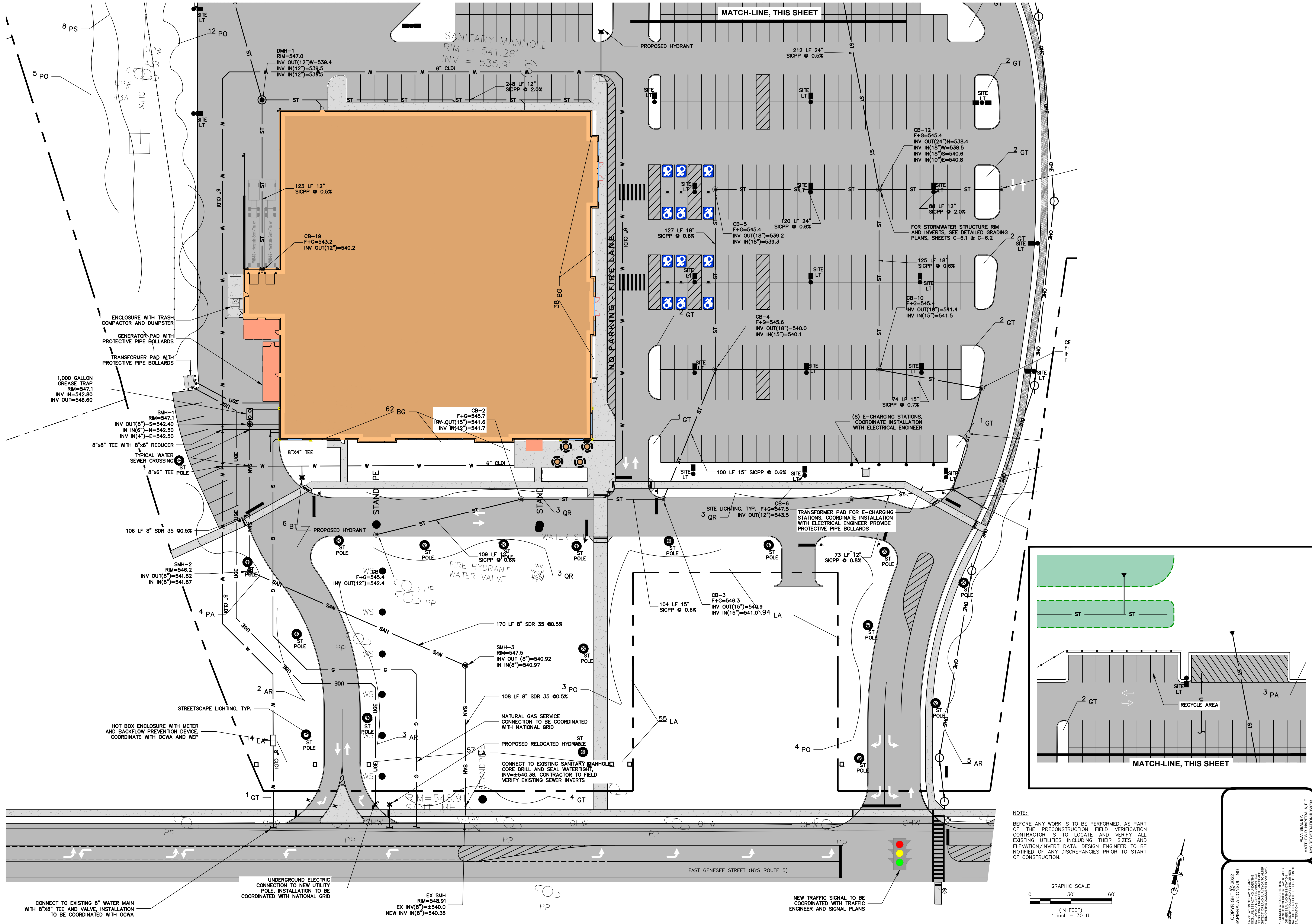
PREPARED BY:  
**NAPIERALA CONSULTING**  
 PROFESSIONAL ENGINEER, P.C.  
 STATE OF NEW YORK  
 110 FAYETTE STREET  
 MANLIUS, NEW YORK 13104  
 email: MNAP@NAPCON.COM  
 PH: (315) 682-5580 FAX: (315) 682-5544

PROJECT NO. 19-1826  
 DATE 24 JAN 2022  
 SCALE 1" = 30'  
**C-6.2**

PLAN SEAL BY:  
 MARYS REGISTRATION # 00733

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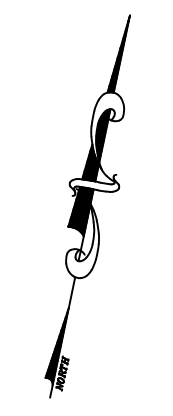
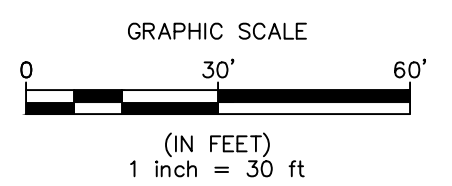
SHEET TITLE:  
**UTILITY PLAN**

NO.	REVISION/ISSUE	DATE
6	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
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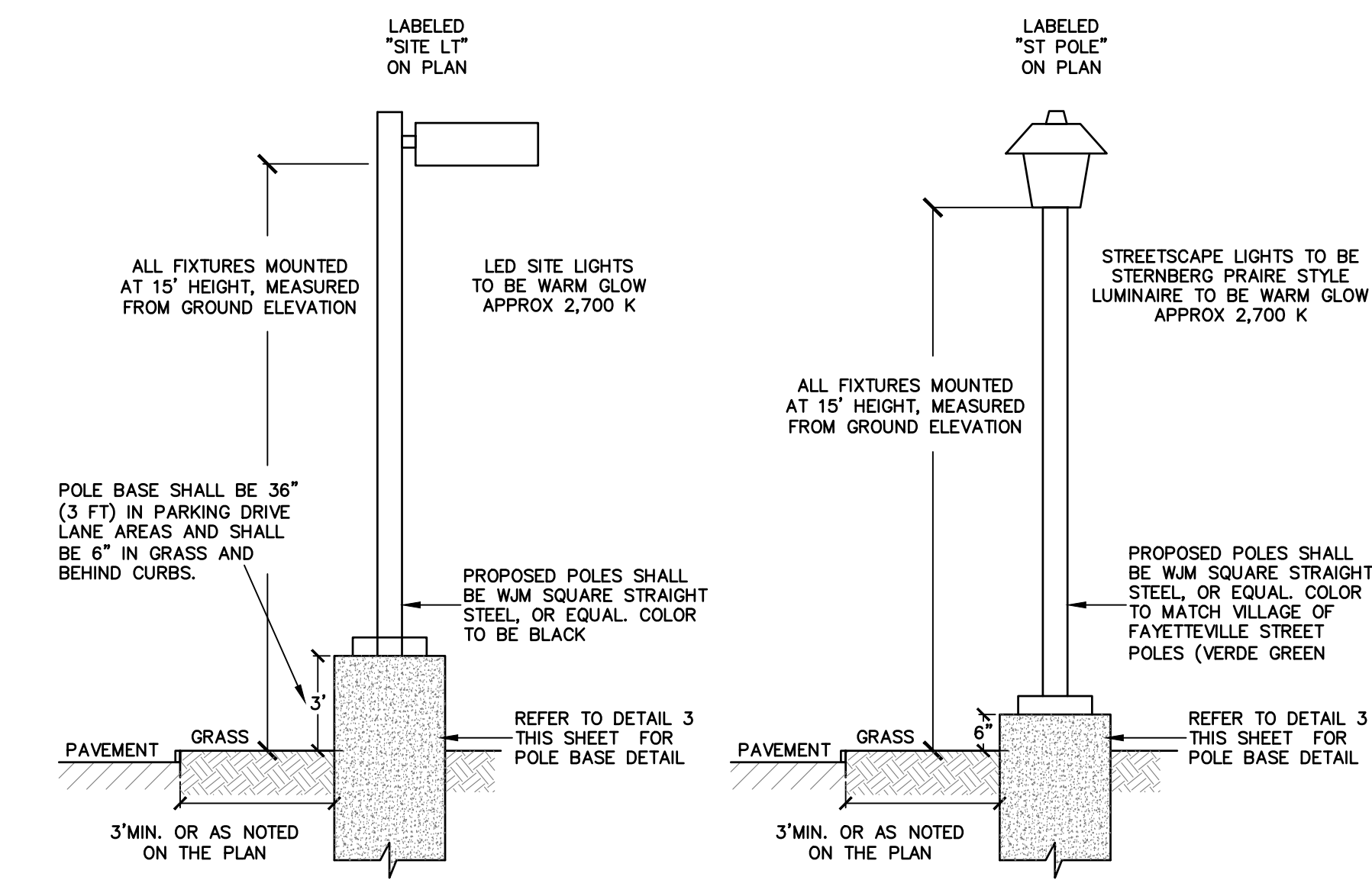
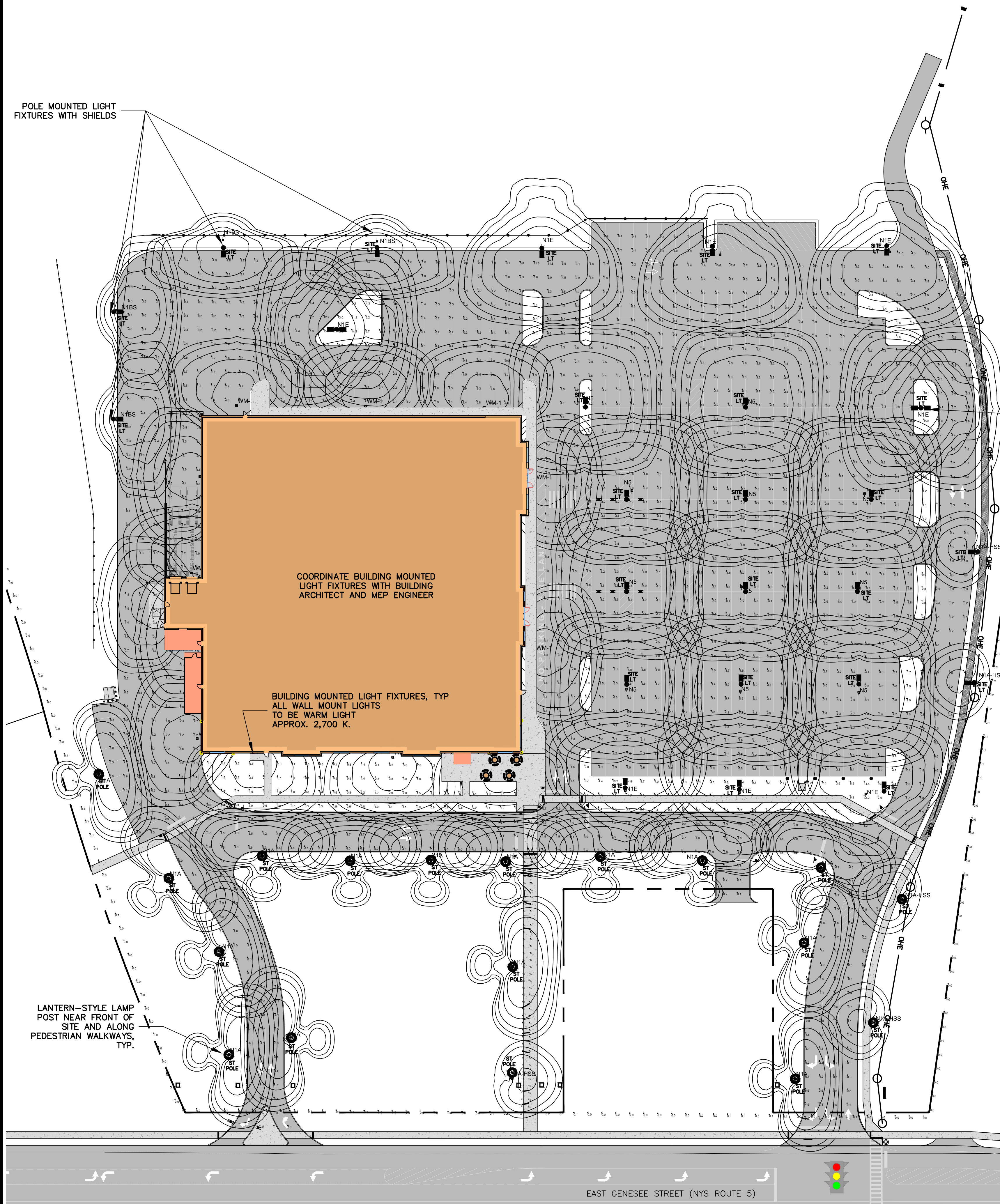
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 110 FAYETTE STREET  
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 PH: (315) 682-5580 FAX: (315) 682-5544

PROJECT NO. 19-1826  
 DATE 24 JAN 2022  
 SCALE 1" = 30'  
**C-7**

NOTE:  
 BEFORE ANY WORK IS TO BE PERFORMED, AS PART OF THE PRECONSTRUCTION FIELD VERIFICATION CONTRACTOR IS TO LOCATE AND VERIFY ALL EXISTING UTILITIES INCLUDING THEIR SIZES AND ELEVATION/INVERT DATA. DESIGN ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.

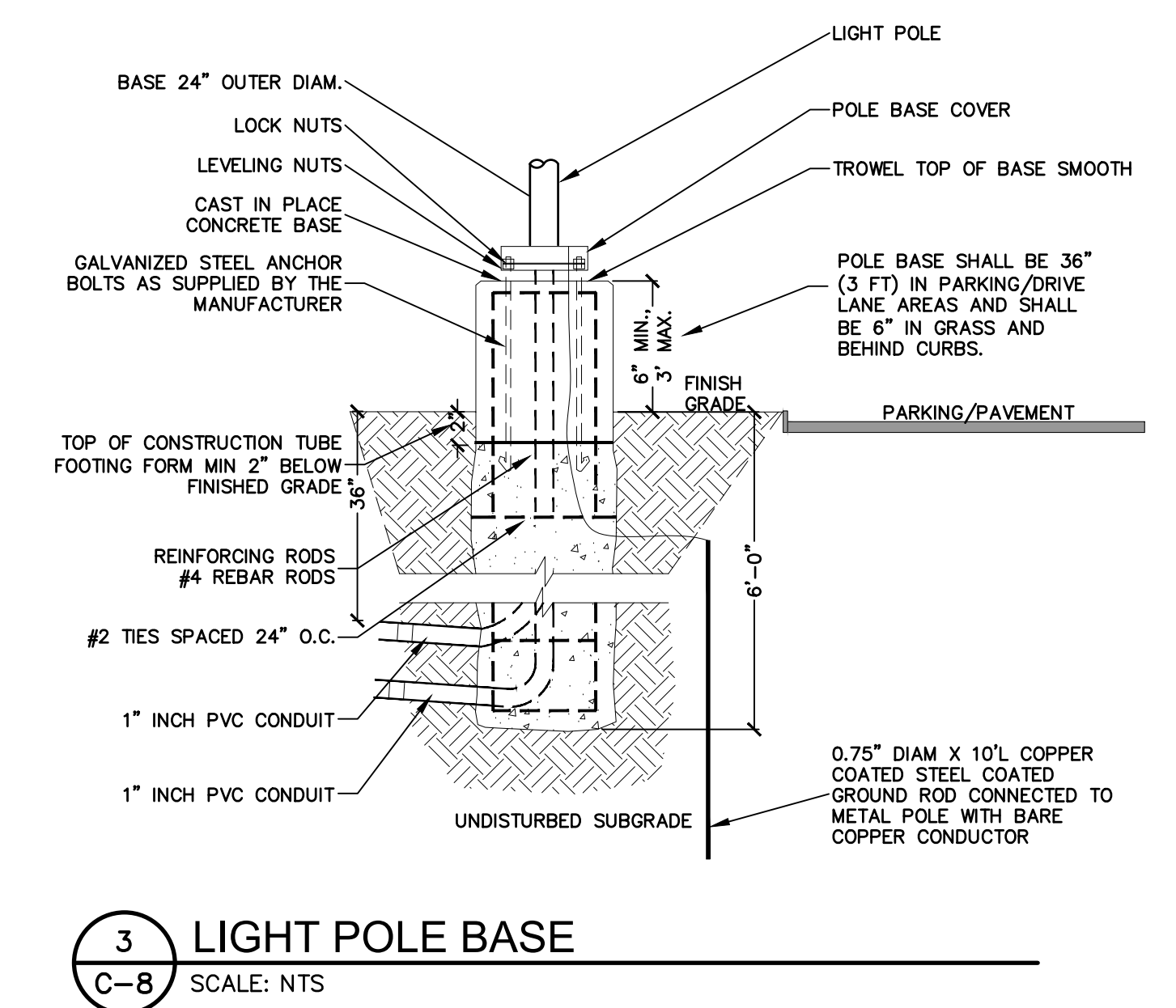


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**1 SITE LIGHT POLE ELEVATION**  
SCALE: NTS

**2 STREETScape LIGHT POLE ELEVATION**  
SCALE: NTS



**3 LIGHT POLE BASE**  
SCALE: NTS

**FAYETTEVILLE GROCERY STORE DEVELOPMENT  
NLS LIGHTING  
REV 4**

Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	Mounting Height
□	5	N1A-HSS	0.890	GT1415-TA_G2LED65-T4-40K_HSS	15
□	11	N5	0.890	LDS-LAL-160-DB-T5-1-NW-MAS-X-X	15
□	15	N1A	0.890	GT1415-NL_G2LED80-T3-40K	15
□	4	N1BS	0.890	LDS-SAL-160-DB-T4-1-40-MAS-BS	15
□	13	WM-1	0.890	LDS-LFC-60-DB-T4-1-40	15
□	10	N1E	0.890	LDS-SAL-160-DB-T4-1-NW-MAS-X-X	15

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ParkingArea	illuminance	Fc	2.52	22.0	0.1	25.20	220.00
PedestrianPath_Planar	illuminance	Fc	2.17	6.8	0.2	10.85	34.00
PropertyLine	illuminance	Fc	0.05	2.2	0.0	N.A.	N.A.
East Entrance and Road	illuminance	Fc	2.16	15.1	0.1	21.60	151.00
LoadingArea	illuminance	Fc	2.73	7.3	0.3	9.10	24.33
West Entrance and Road	illuminance	Fc	2.29	8.0	0.1	22.90	80.00

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25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

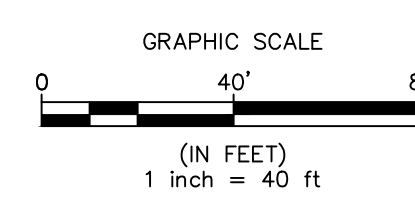
**LIGHTING PLAN**

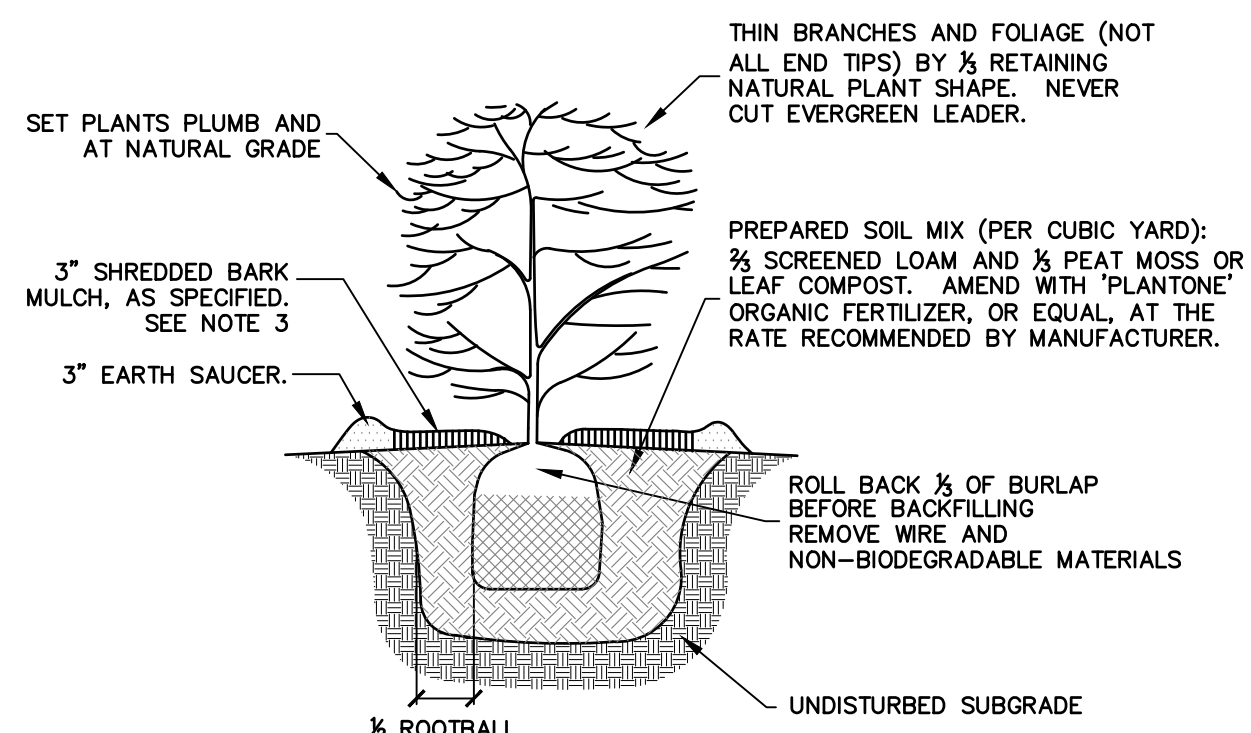
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PROJECT NO. **19-1826**  
DATE **24 JAN 2022**  
SCALE **1" = 40'**  
SHEET **C-8**

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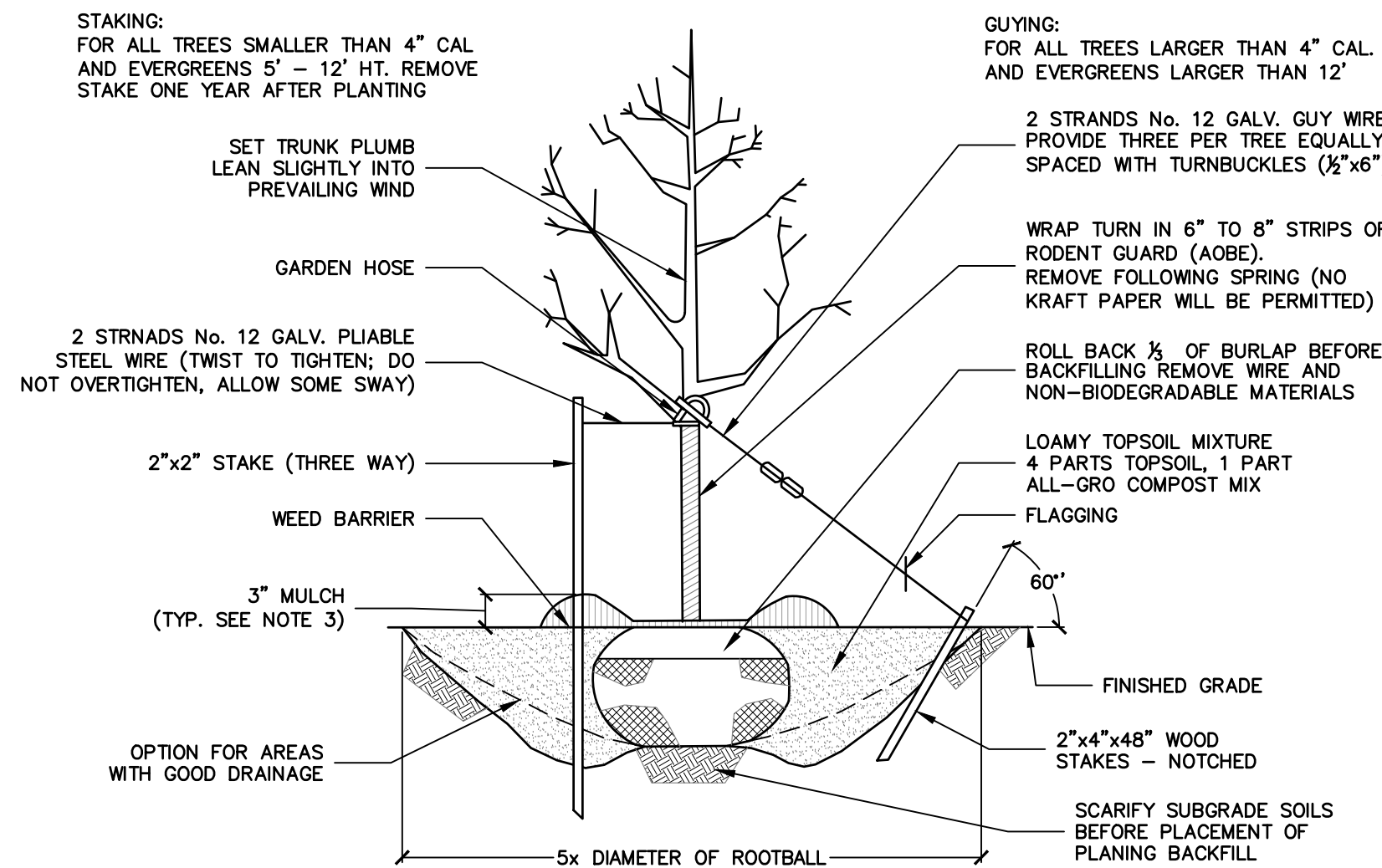




- NOTES
- IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/2 OF THE BURLAP.
  - PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.
  - MULCH IS TO BE PLACED 6" AWAY FROM TRUNK

**1 SHRUB PLANTING DETAIL**

C-9 SCALE: NTS



- NOTES
- USE 8" STAKES - DRIVE 48" BELOW GROUND
  - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
  - MULCH IS TO BE PLACED 6" AWAY FROM TRUNK.

**2 TREE PLANTING DETAIL**

C-9 SCALE: NTS

KEY	QUANTITY	LATIN NAME	COMMON NAME	CALIPER	HEIGHT	ROOT
<b>DECIDUOUS TREES</b>						
AR	10	ACER RUBRUM	RED MAPLE	2"-2 1/2"	-	B&B
OR	9	QUERCUS RUBRA	NORTHERN RED OAK	2"-2 1/2"	-	B&B
PO	24	PLANTANUS OCCIDENTALIS	AMERICAN SYCAMORE	2"-2 1/2"	-	B&B
GT	29	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2"-2 1/2"	-	B&B
<b>EVERGREEN TREES</b>						
PA	46	PICEA ABIES	NORWAY SPRUCE	-	6'-8'	B&B
PS	8	PINUS STROBUS	WHITE PINE	-	6'-8'	B&B
<b>SHRUBS</b>						
LA	220	LIGUSTRUM AMURENSE	AMUR PRIVET	-	3'-4'	B.ROOT*
BG	100	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	-	18"-24"	B. ROOT

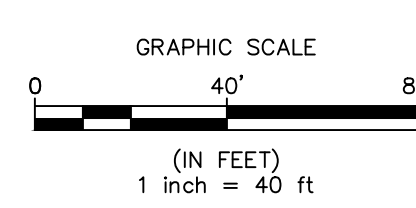
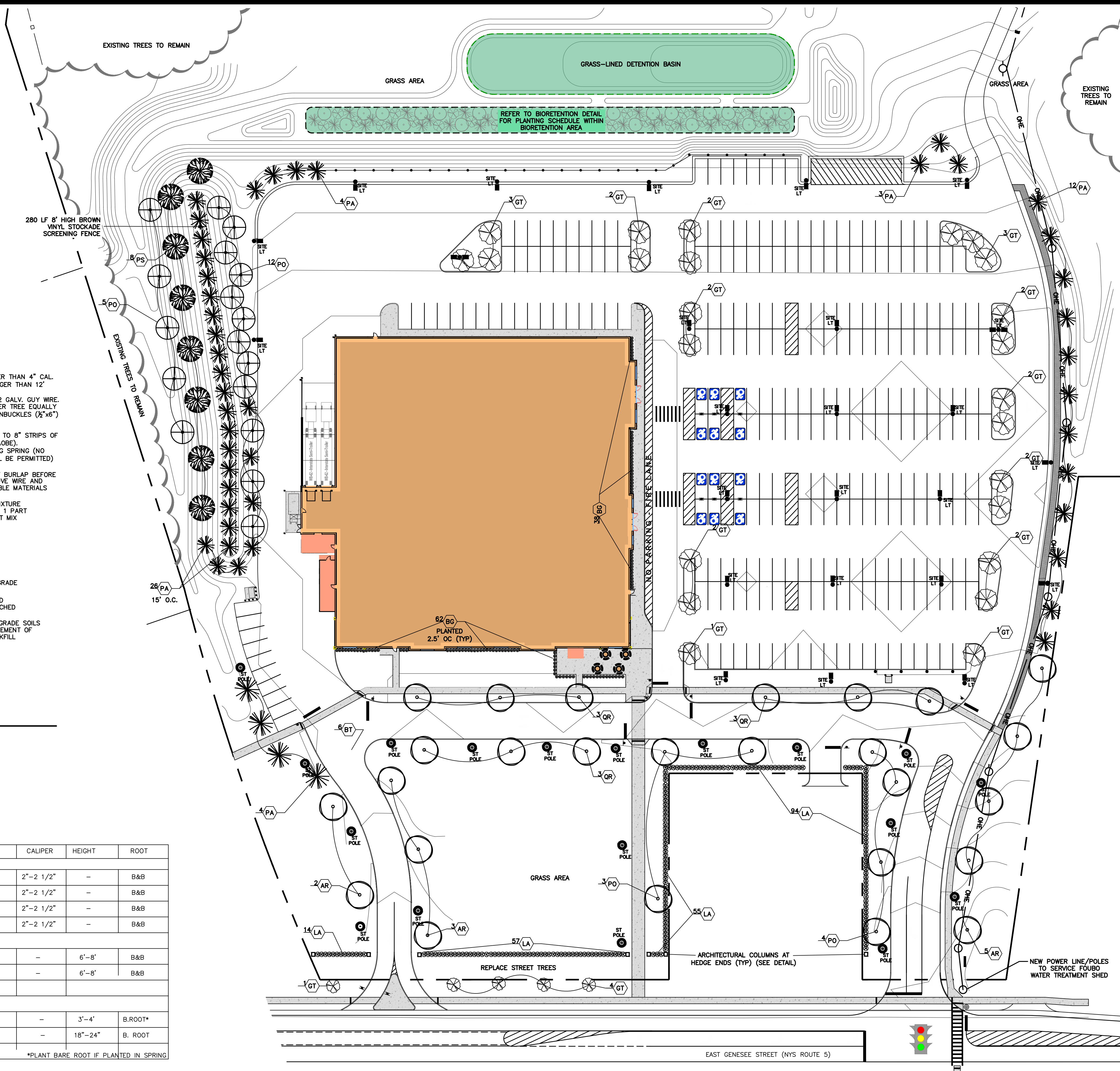
\*PLANT BARE ROOT IF PLANTED IN SPRING

LEGEND:



LANDSCAPING NOTES:

- ALL TREES AND SHRUBS SHALL BE SURROUNDED BY A BED OF BARK MULCH UNLESS OTHERWISE SPECIFIED.
- DEAD MATERIAL SHALL BE REPLACED AND PLANT MATERIAL SHALL BE REGULARLY PRUNED AND NOURISHED TO MAINTAIN HEALTH.
- TREES AND SHRUBS IDENTIFIED MAY BE SUBSTITUTED AT THE OWNER AND/OR LANDSCAPER'S REQUEST WITH SIMILAR/ALTERNATE SPECIES BASED ON PREFERENCE AND LOCAL AVAILABILITY.
- REFER TO BIORETENTION AREA DETAILS FOR INSTALLATION AND PLANTING SCHEDULE.
- SEE SHEET C-1 FOR SEED MIX INFORMATION.



PROJECT TITLE: **PROPOSED GROCERY STORE**  
**547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY

PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
 25 PARCE AVENUE, SUITE 155  
 FAIRPORT, NY 14450

SHEET TITLE: **LANDSCAPING PLAN**

NO.	REVISION/ISSUE	DATE
7	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
6	ISSUED FOR PLANNING BOARD APPROVAL	10/31/22
5	UPDATED LANDSCAPING - SOUTH END OF SITE	10/10/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

PREPARED BY: **NAPIERALA CONSULTING**  
 PROFESSIONAL ENGINEER, P.E.  
 110 FAYETTE STREET  
 MANLIUS, NEW YORK 13104  
 email: MNAP@NAPCON.COM  
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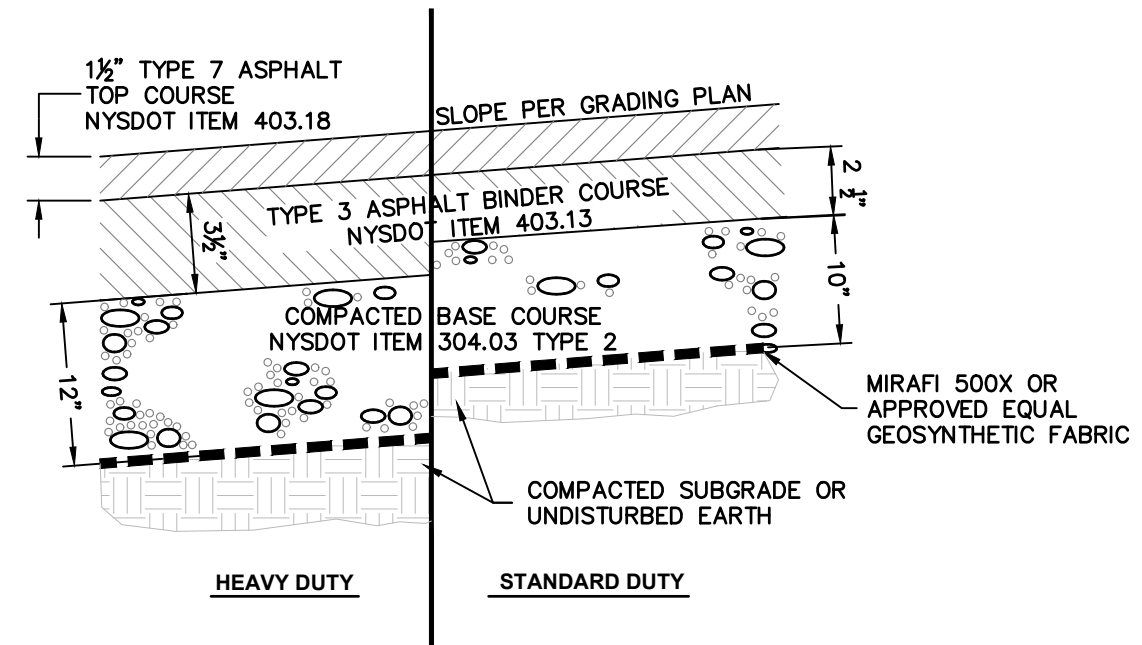
PROJECT NO: **19-1826**

DATE: **24 JAN 2022**

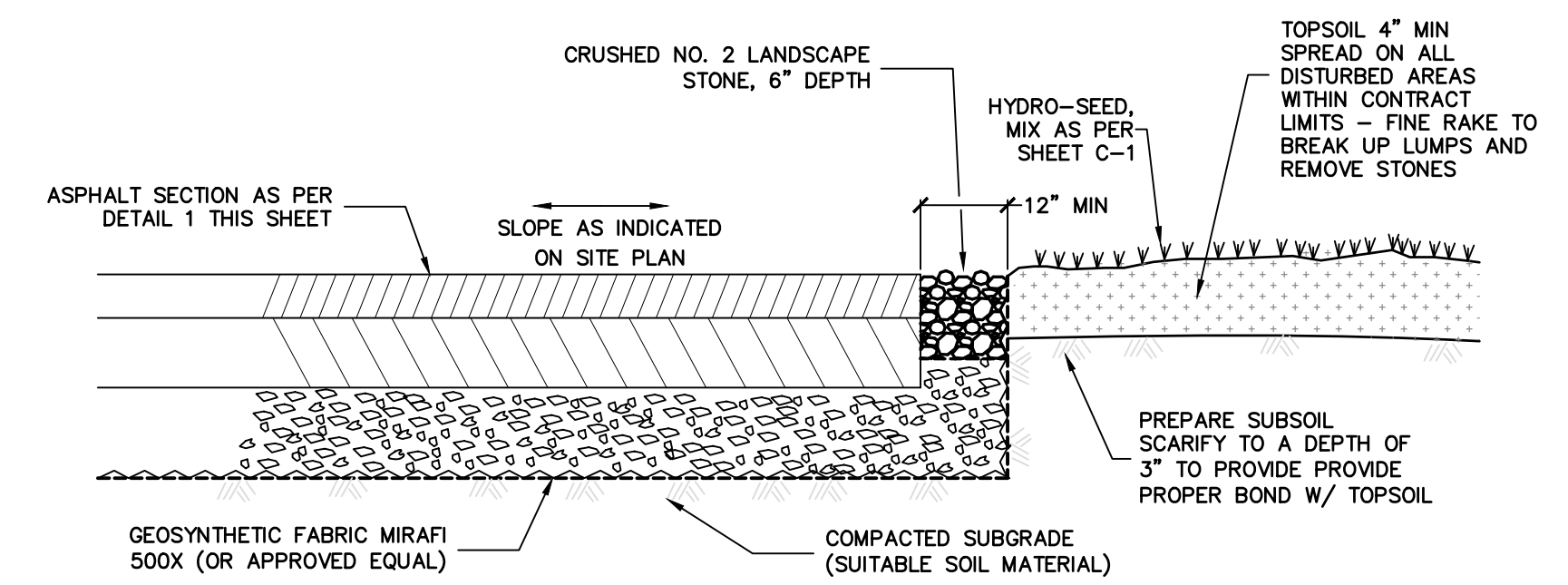
SCALE: **1" = 40'**

SHEET: **C-9**

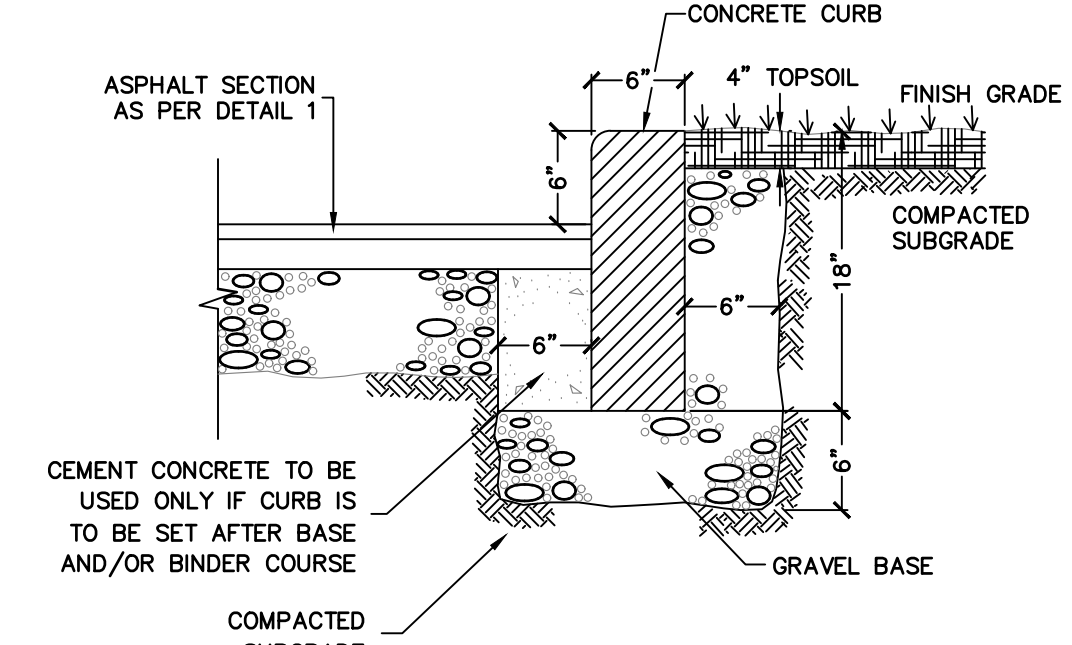
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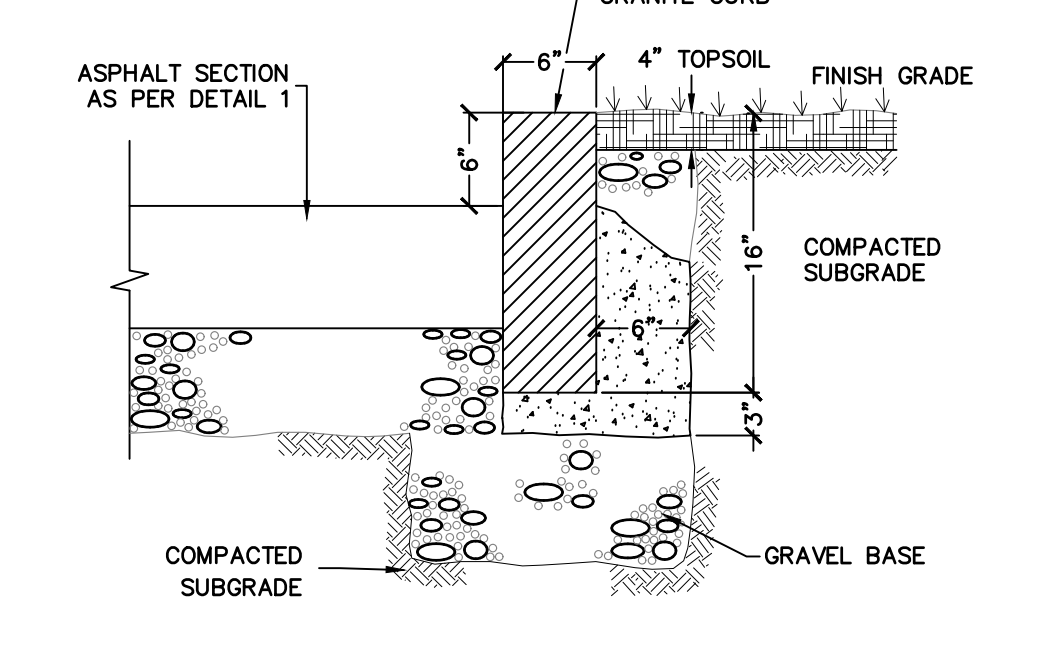
**1 STANDARD/HEAVY-DUTY PAVEMENT SECTION**  
 C-10 SCALE: NTS  
 ALL PAVEMENT SECTIONS TO BE CONFIRMED WITH THE GEOTECHNICAL REPORT



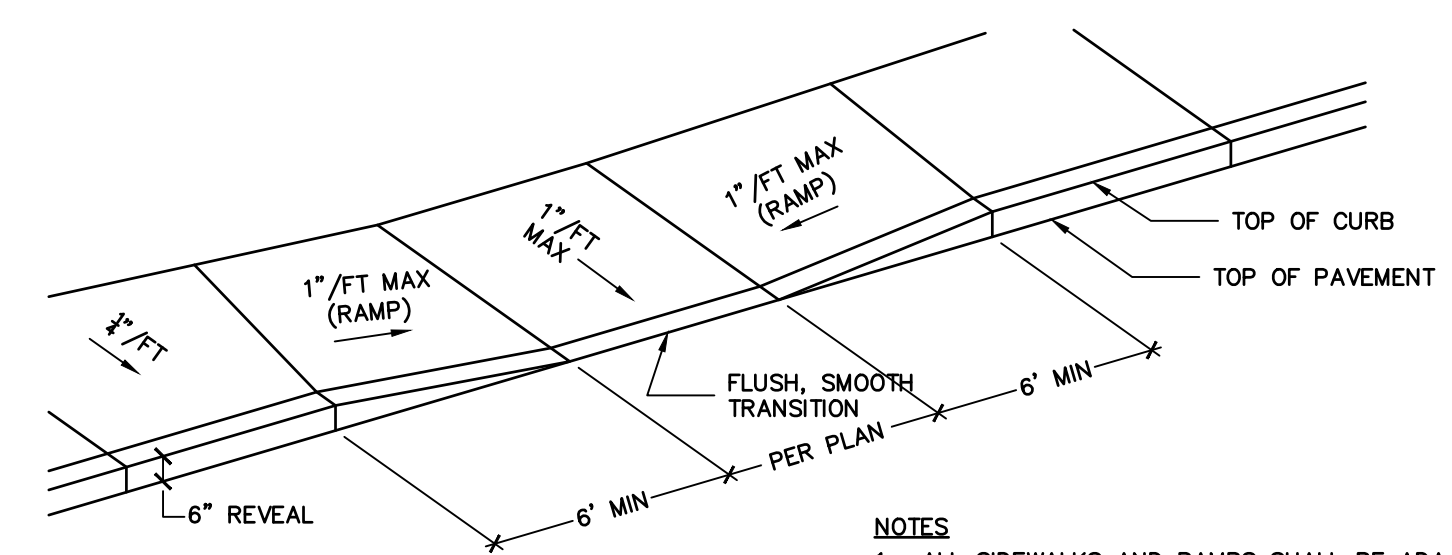
**2 EDGE OF PAVEMENT WITHOUT CURBING**  
 C-10 SCALE: NTS



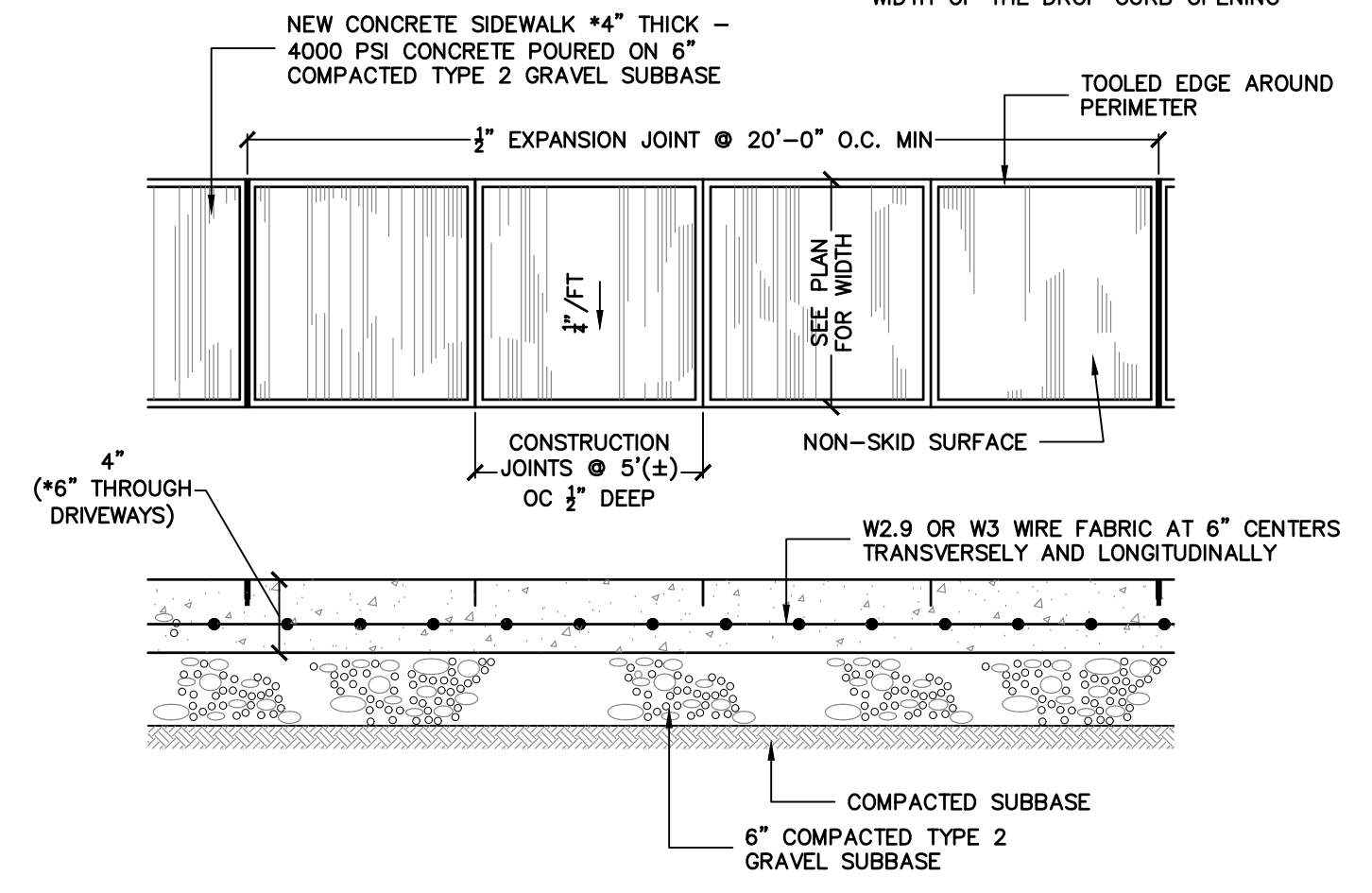
**3 CONCRETE CURBING**  
 C-10 SCALE: NTS



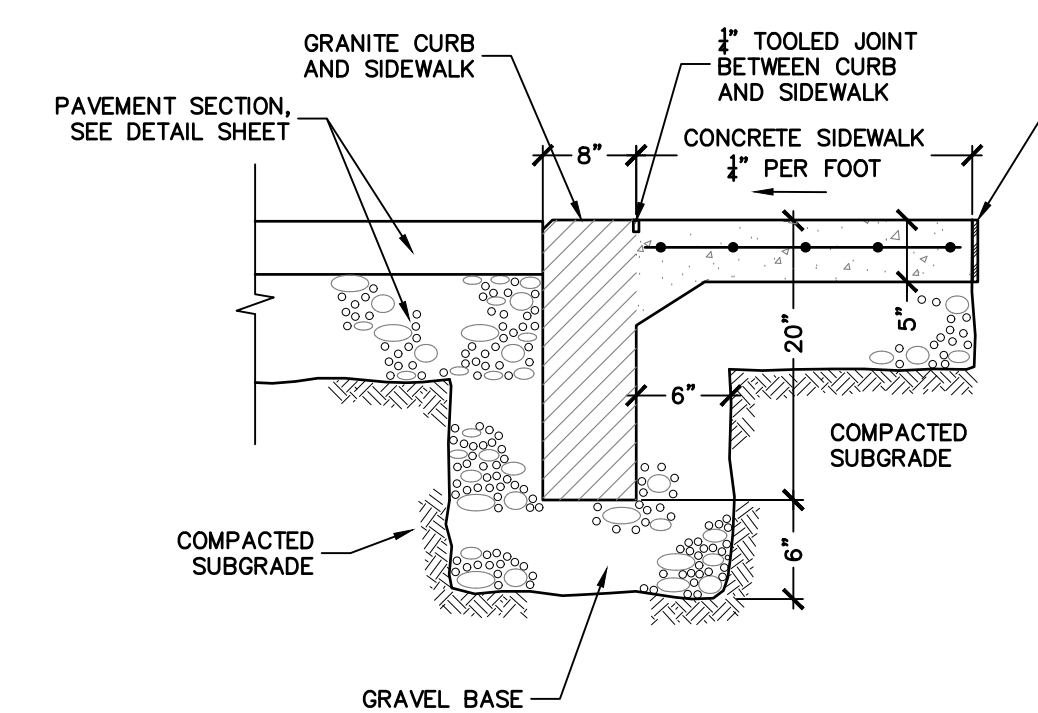
**4 GRANITE CURB**  
 C-10 SCALE: NTS  
 TO BE USED WITHIN O.C.D.T. R.O.W.



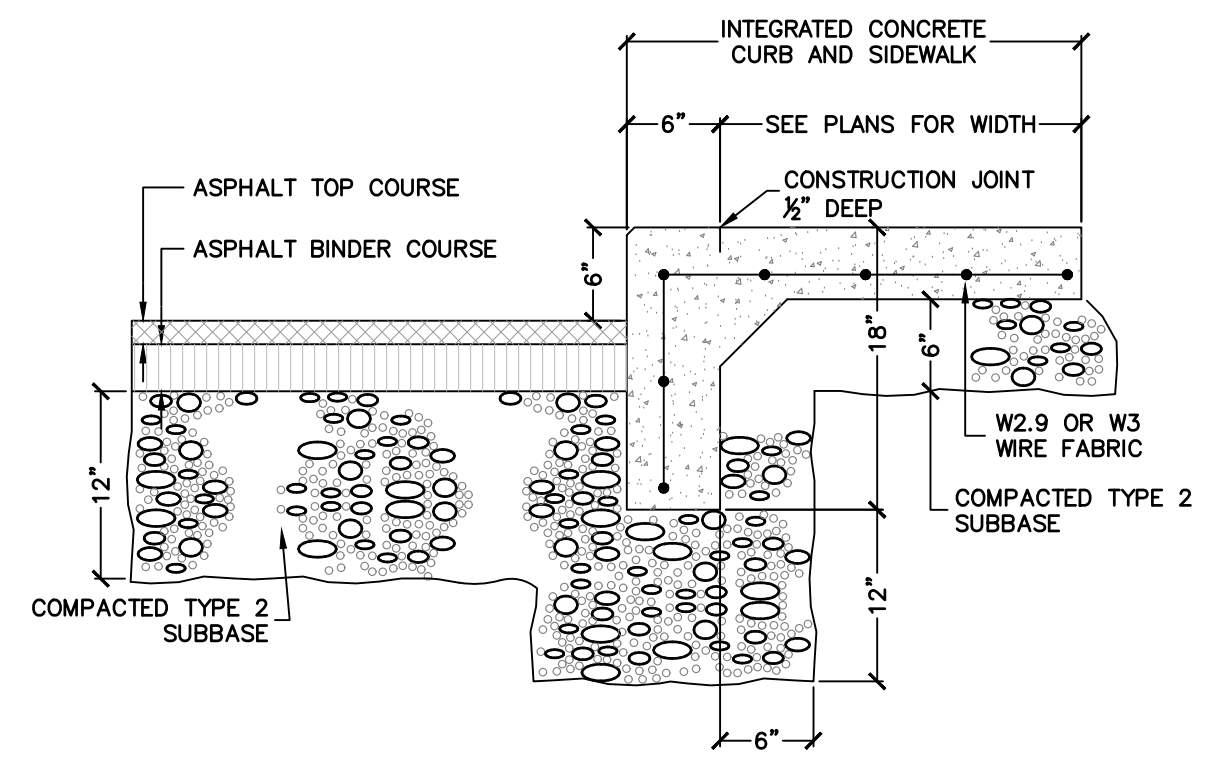
- NOTES**
1. ALL SIDEWALKS AND RAMPS SHALL BE ADA AND PROWAG COMPLIANT
  2. SIDEWALK RAMP LOCATIONS AND TYPES ARE TO BE AS SHOWN ON THE PLANS.
  3. SURFACE TEXTURE OF RAMP SHALL BE OBTAINED BY A COURSE BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
  4. NORMAL PAVEMENT EDGE PROFILE IS TO BE MAINTAINED THROUGH THE AREA OF THE RAMP.
  5. TRANSITION CURB FOR RAMPS SHALL BE 6'-0"
  6. MAXIMUM DESIRABLE RAMP SLOPE 1:12.
  7. PROVIDE TOOLED TACTILE GROVES ON ALL SURFACES AS INDICATED
  8. INSTALL ADA COMPLIANT DETECTABLE WARNING PAVERS 2' HIGH BY WIDTH OF THE DROP CURB OPENING



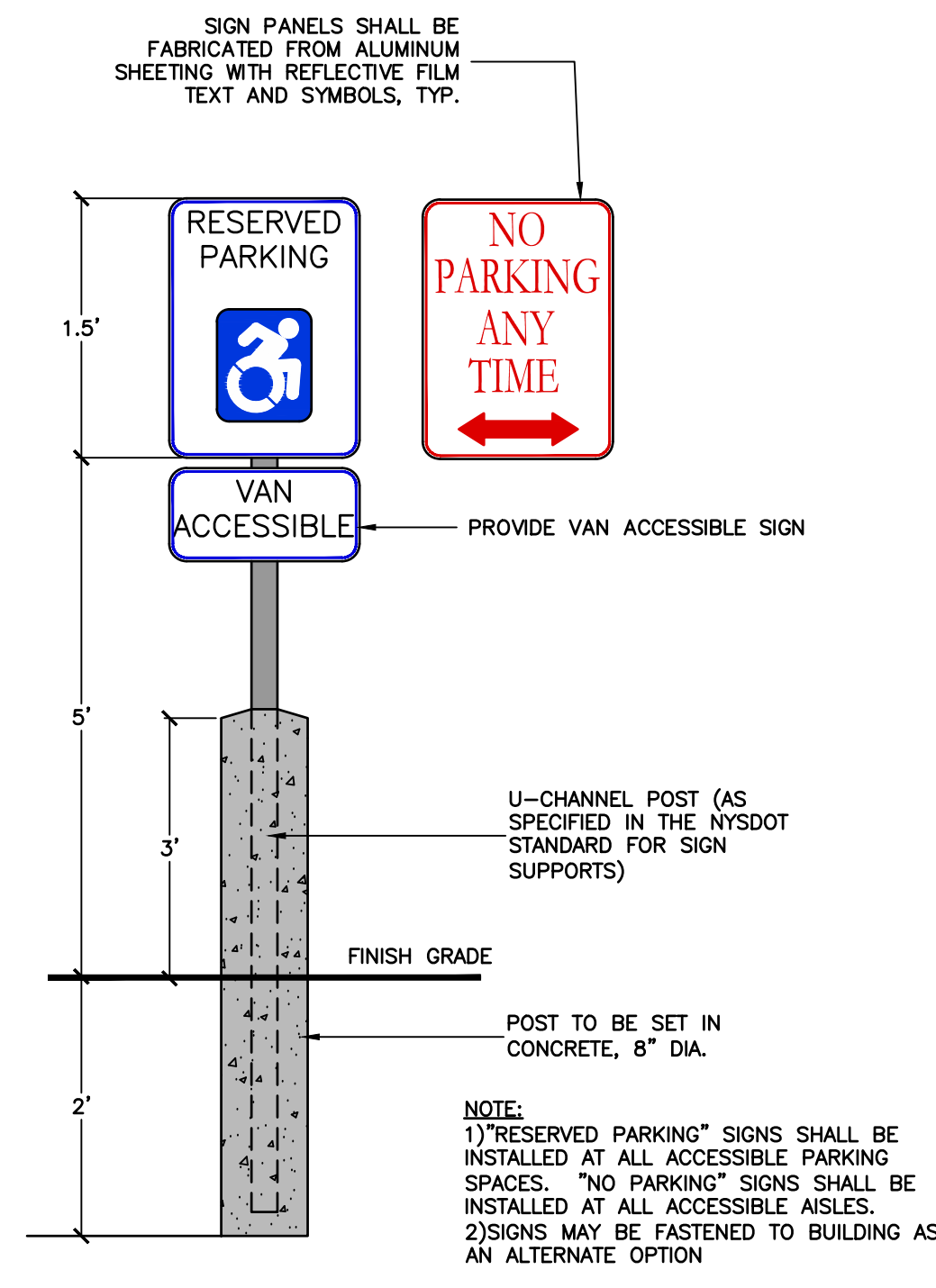
**5 SIDEWALK**  
 C-10 SCALE: NTS



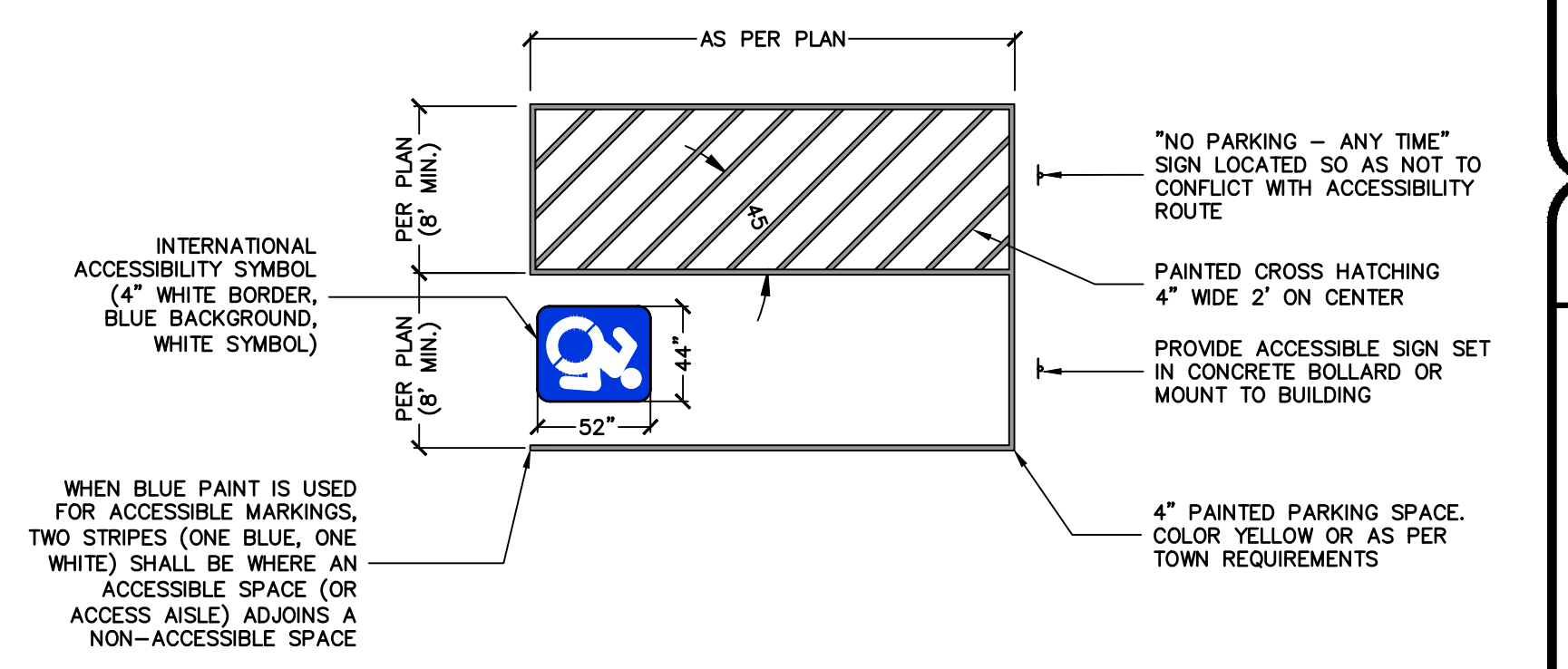
**11 INTEGRAL FLUSH CURB AND SIDEWALK**  
 C-11 SCALE: NTS



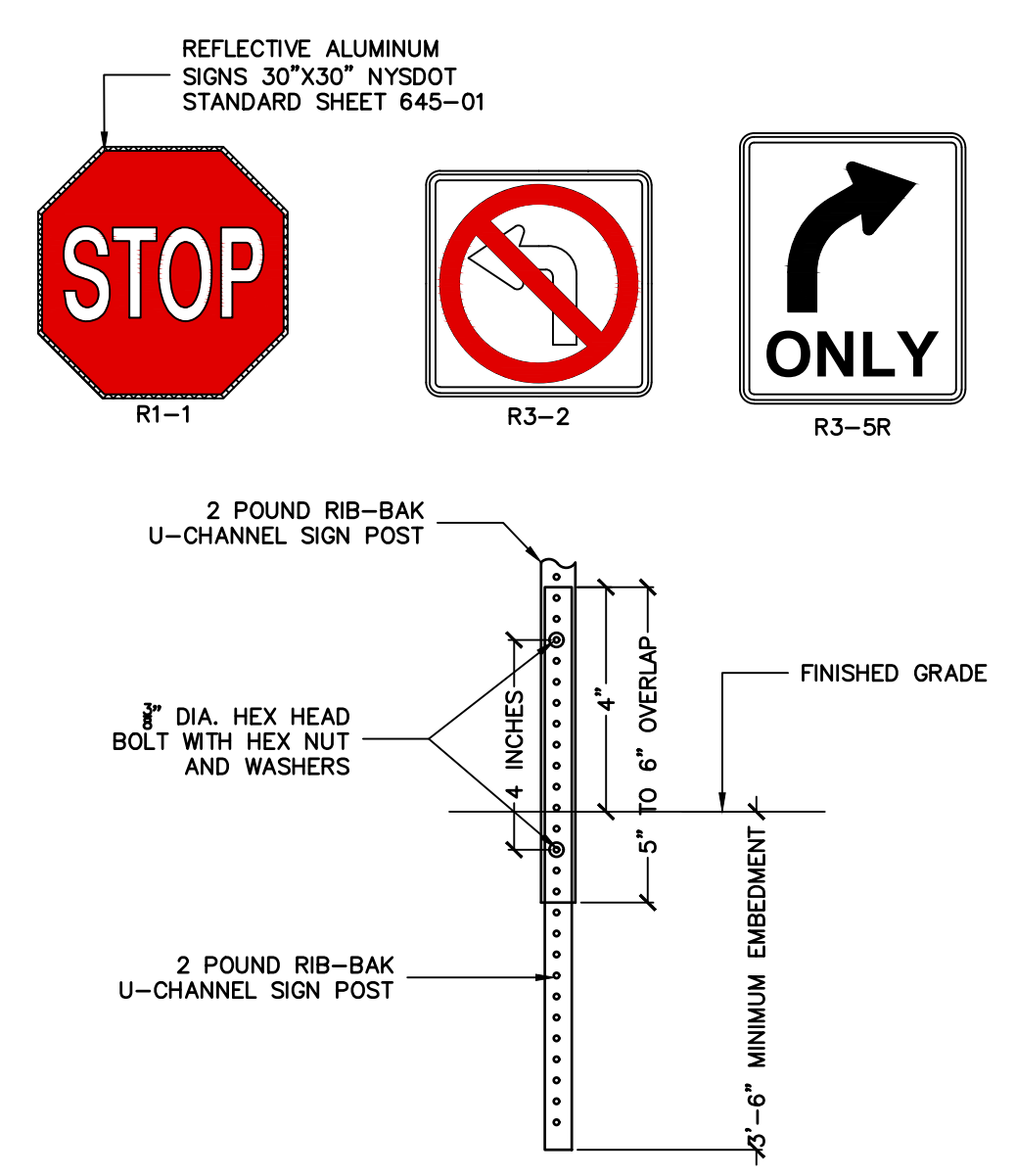
**6 INTEGRAL CONCRETE CURB & SIDEWALK**  
 C-10 SCALE: NTS



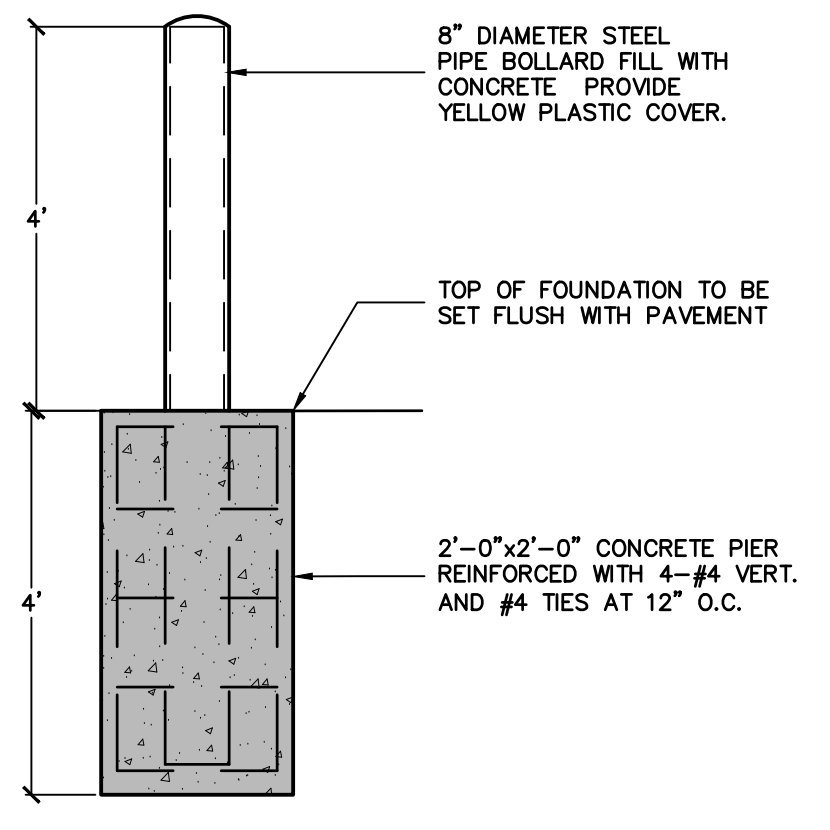
**7 ACCESSIBLE PARKING SIGNS**  
 C-10 SCALE: NTS



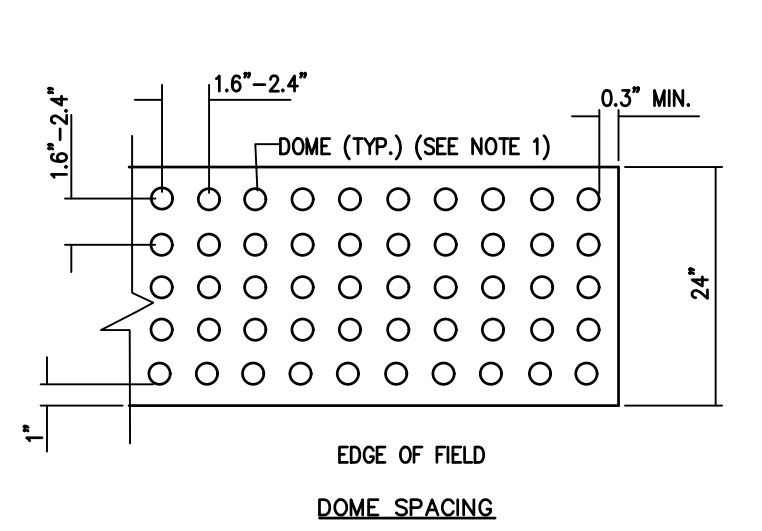
**8 ACCESSIBLE PARKING PAVEMENT MARKING DETAIL**  
 C-10 SCALE: NTS



**9 BREAK-AWAY SIGN POST**  
 C-10 SCALE: NTS

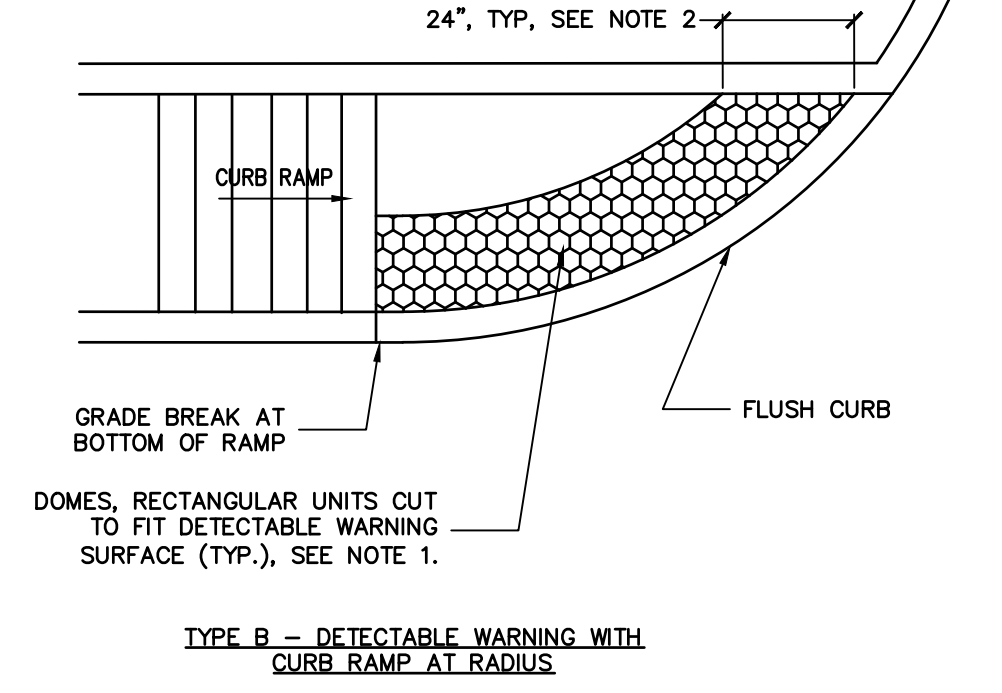
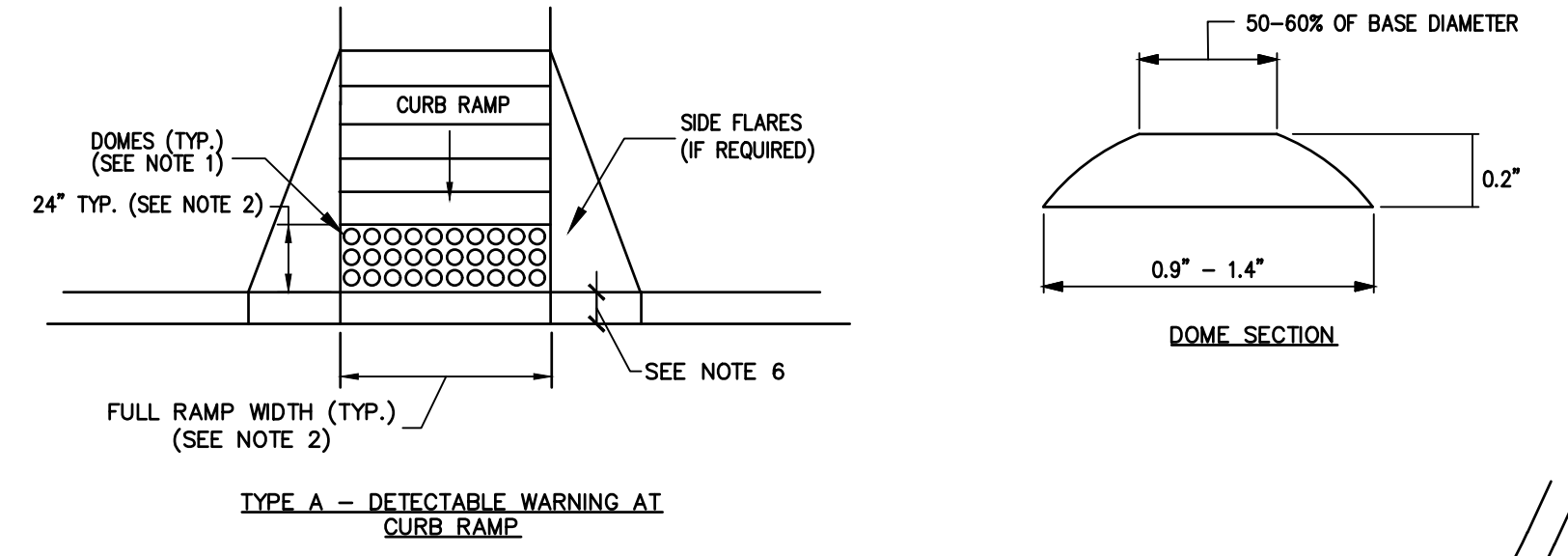


**10 CONCRETE BOLLARD**  
 C-10 SCALE: NTS



**11 DETECTABLE WARNING**  
 C-10 SCALE: NTS

- GENERAL NOTES:**
1. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING FIELD (THE DOMES AND THE ENTIRE 24" x 24" SURFACE) IS FOR ILLUSTRATION ONLY.
  2. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
  3. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
  4. WHERE DOMES ARE ARRANGED RADIIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
  5. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
  6. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
  7. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.



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 25 PARCE AVENUE, SUITE 155  
 FAIRPORT, NY 14450

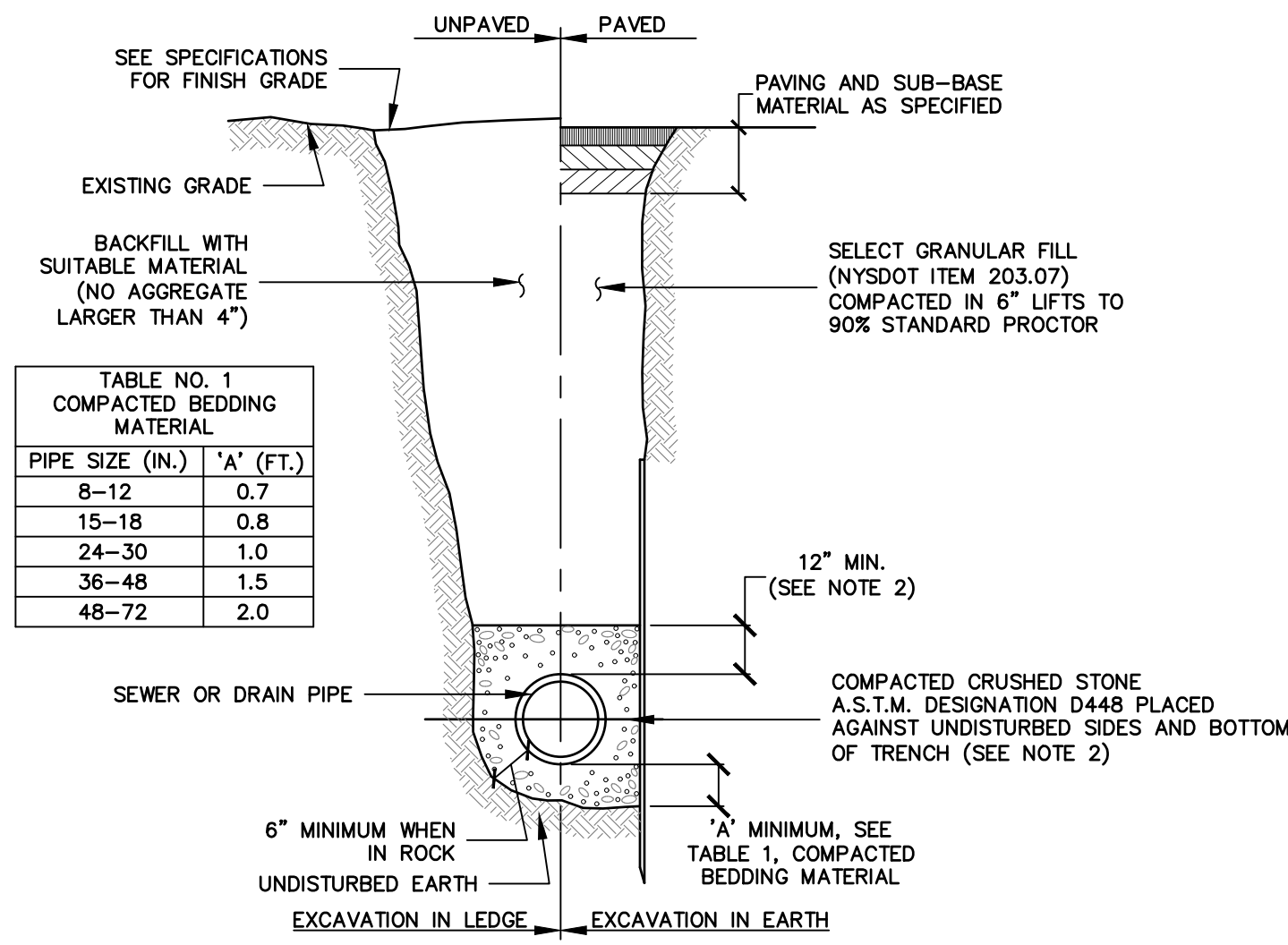
**SITE DETAILS**  
 SHEET TITLE:

NO.	REVISION/ISSUE	DATE
5	ISSUED FOR PLANNING BOARD APPROVAL	11/20/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
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1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

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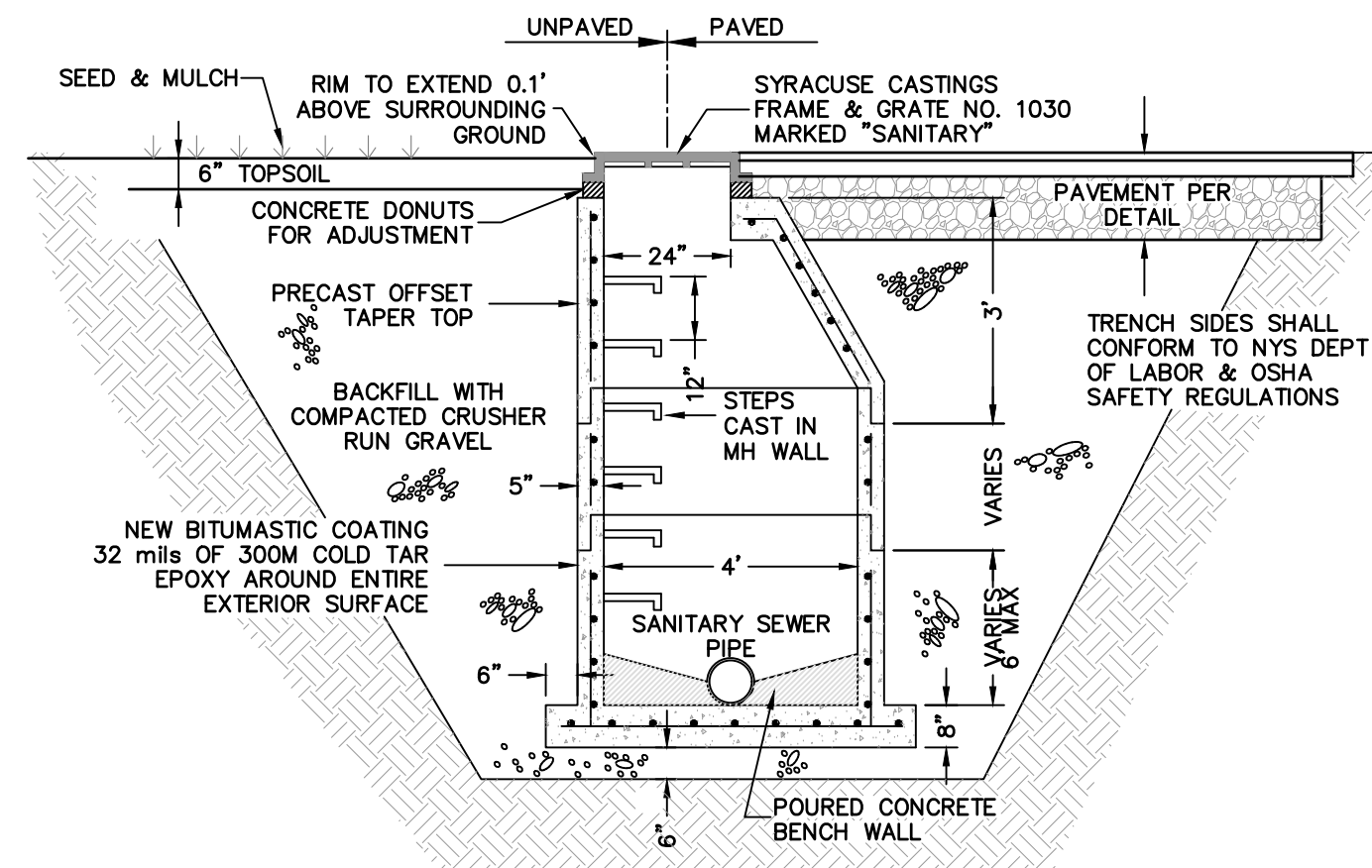
PROJECT NO: **19-1826**  
 DATE: **24 JAN 2022**  
 SCALE: **NTS**  
 SHEET: **C-10**

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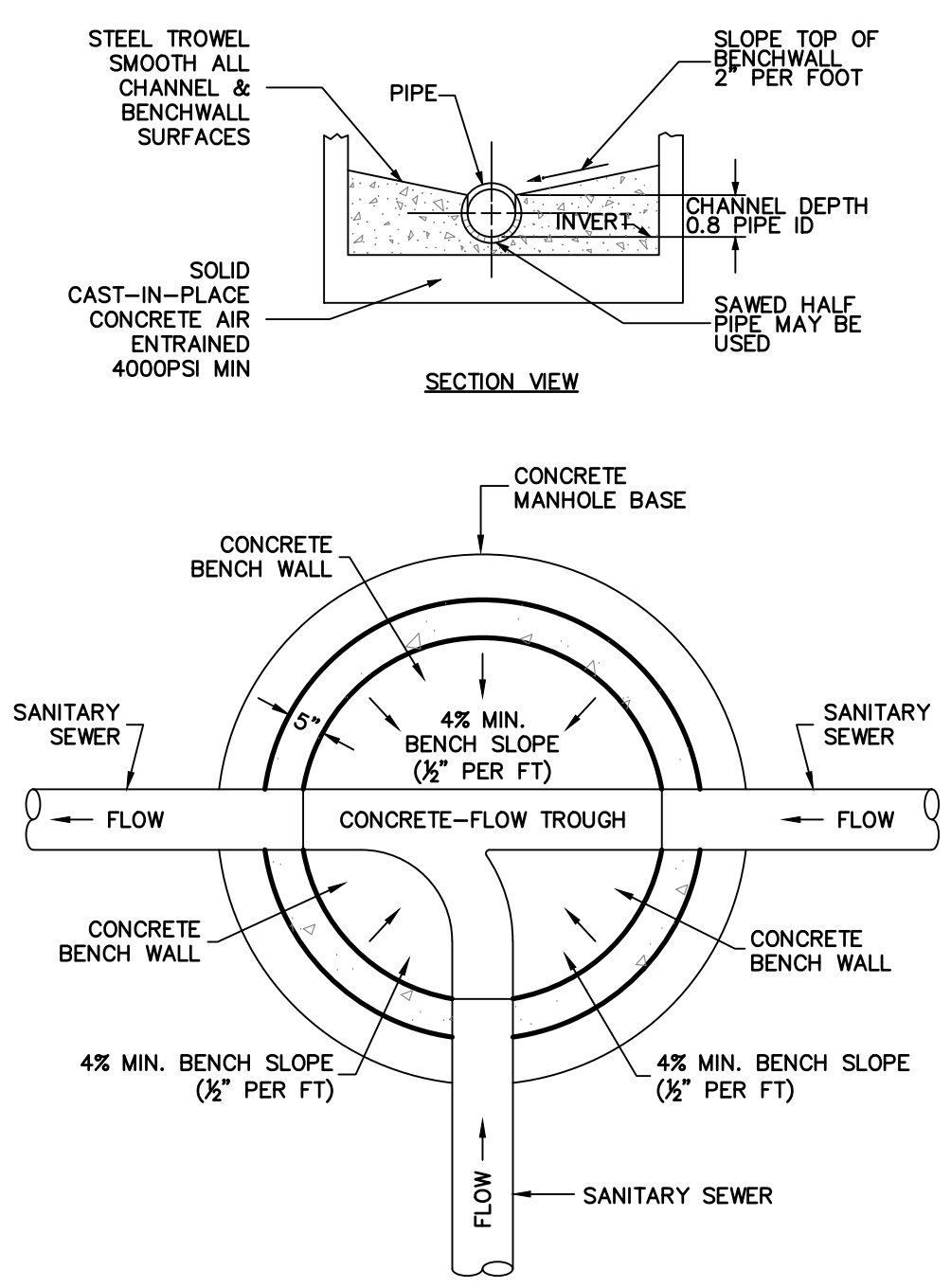
- TABLE NO. 1  
COMPACTED BEDDING  
MATERIAL**
- | PIPE SIZE (IN.) | 'A' (FT.) |
|-----------------|-----------|
| 8-12            | 0.7       |
| 15-18           | 0.8       |
| 24-30           | 1.0       |
| 36-48           | 1.5       |
| 48-72           | 2.0       |
- NOTES:**
- SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
  - WHEN APPROVED BY THE ENGINEER FOR PIPES OTHER THAN PVC SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE. NO STONES LARGER THAN 2 INCHES IN ANY DIMENSION WILL BE PERMITTED IN THIS AREA.
  - TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS IF LOCATED UNDER PAVEMENT (EXCEPT FOR PAVEMENT SECTION).
  - BEDDING MATERIAL FOR PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3231 CLASS I OR CLASS II EMBEDMENT MATERIALS.

**1 TYPICAL SEWER AND DRAIN TRENCH**  
C-11 SCALE: NTS

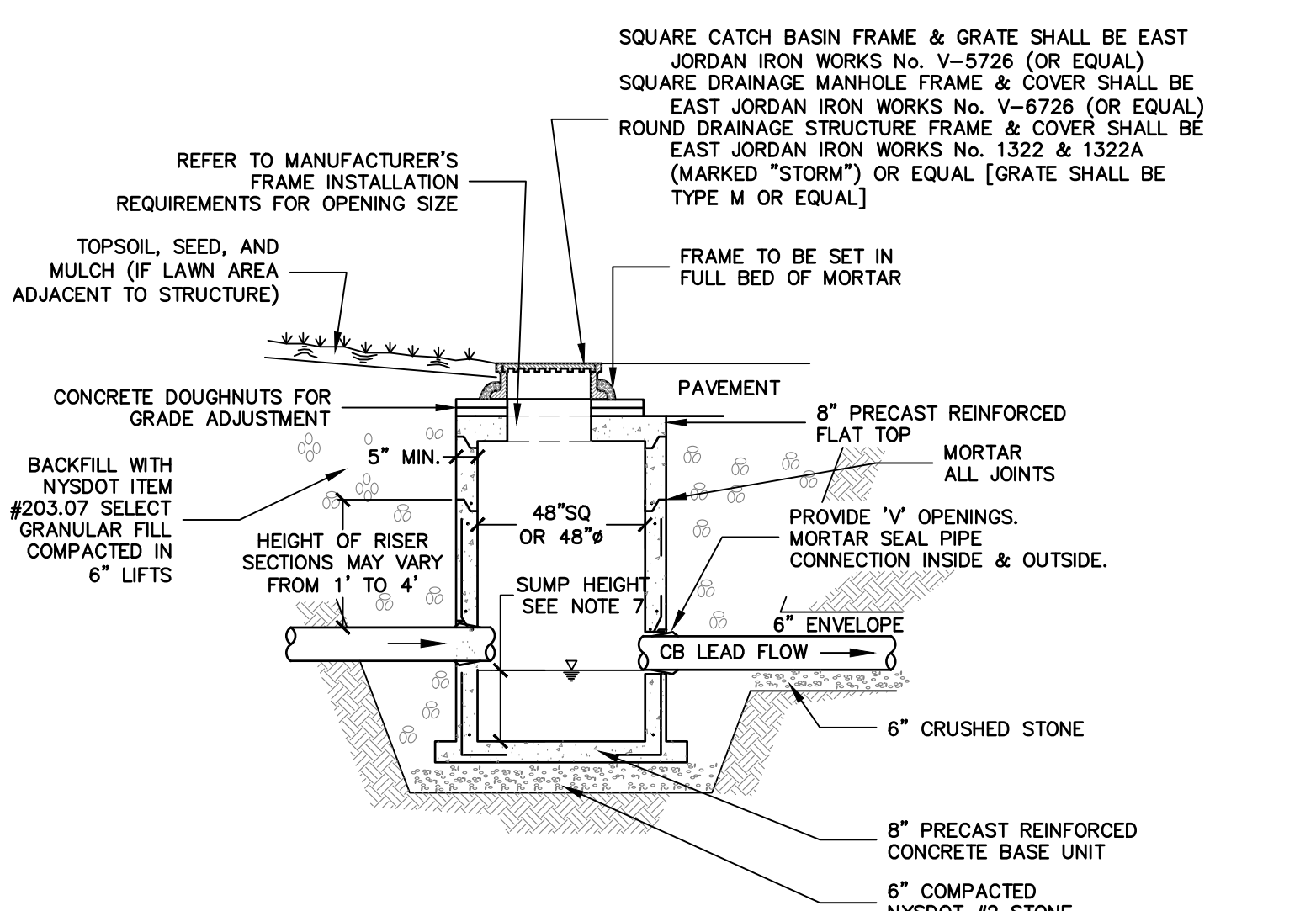


- SANITARY MANHOLE GENERAL NOTES**
- PRECAST REINFORCED CONCRETE OFFSET TAPER TOP TO BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478. TOP SECTION IS TO BE 3' LONG.
  - PRECAST REINFORCED CONCRETE MANHOLE RISER SECTIONS ARE TO BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478. RISER SECTIONS ARE TO HAVE A 48" INSIDE DIAMETER x 5" WALL AVAILABLE IN 2', 3', OR 4' LENGTHS.
  - PRECAST REINFORCED CONCRETE MANHOLE BASE IS TO BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478. BASE IS TO HAVE A 48" INSIDE DIAMETER x 5" WALL WITH RUBBER BOOTS AS REQUIRED.
  - REINFORCING FOR ALL SECTIONS SHALL BE 2X4 #6 W.W. MESH.
  - ALL REINFORCEMENT SHALL BE PLACED SO IT WILL HAVE A MINIMUM COVER OF 2" AND BE LOCATED APPROXIMATELY WITHIN THE CENTER OF THE SECTION.
  - COURSES OF BRICK OR CONCRETE DONUTS ARE TO BE USED FOR RIM GRADE ADJUSTMENTS.
  - BASE OF PRECAST MANHOLE SHALL REST ON UNDISTURBED UNIFORM VIRGIN SOIL OR COMPACTED GRAVEL, COMPACTED IN PLACE WITH VIBRATORY MECHANICAL TAMPERS IN LIFTS NOT TO EXCEED 6" AT A TIME.
  - TRENCH SIDES SHALL CONFORM TO NYS LABOR DEPARTMENT SAFETY REGULATIONS.

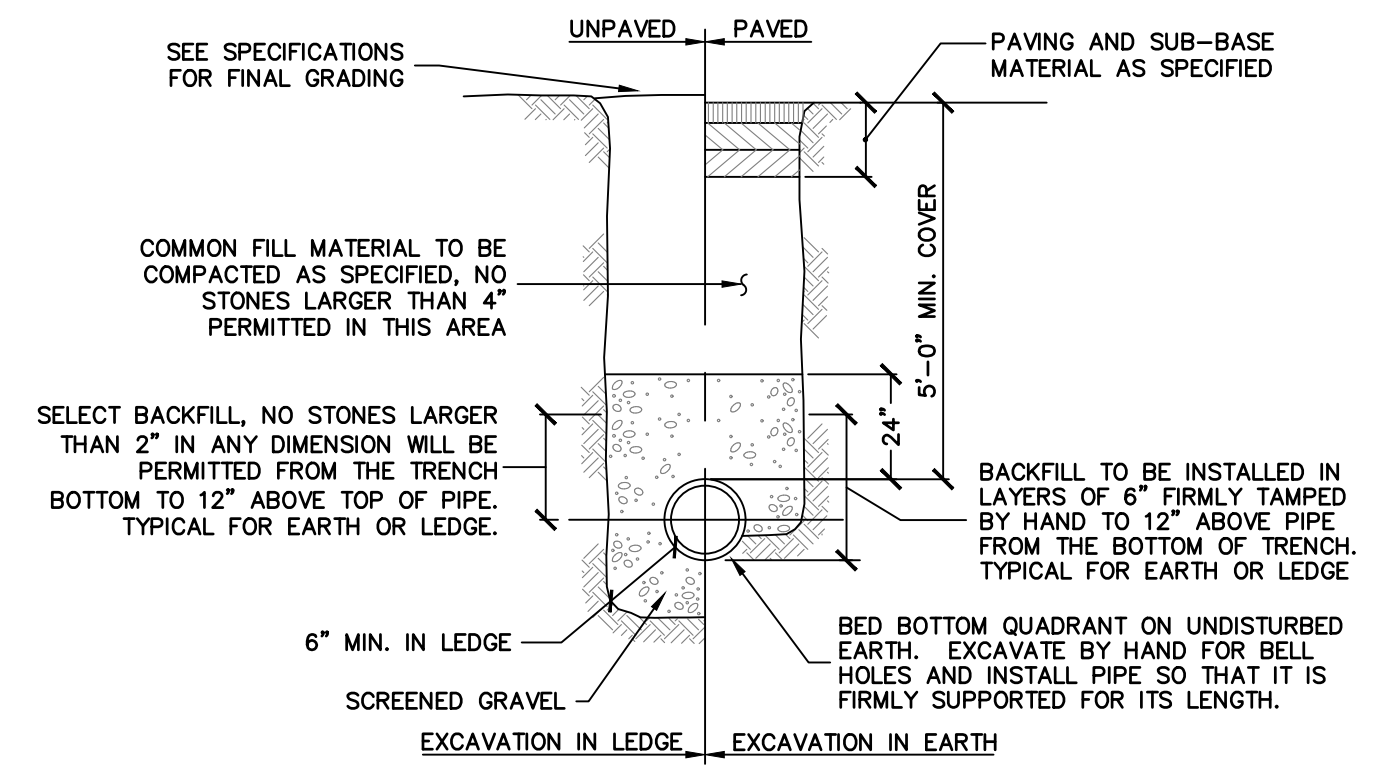
**2 SANITARY MANHOLE**  
C-11 SCALE: NTS



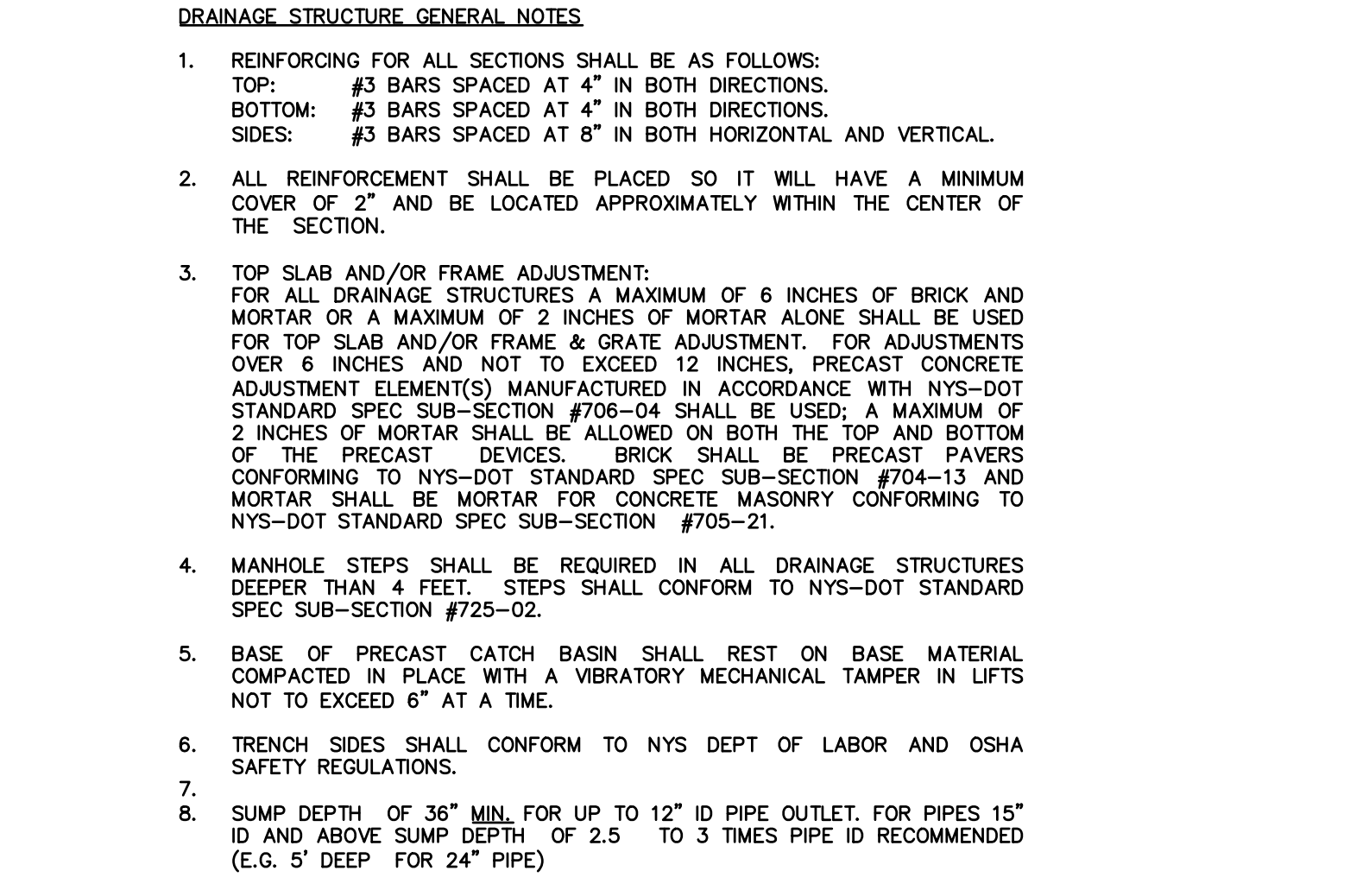
**3 TYPICAL SANITARY MANHOLE BENCH**  
C-11 SCALE: NTS



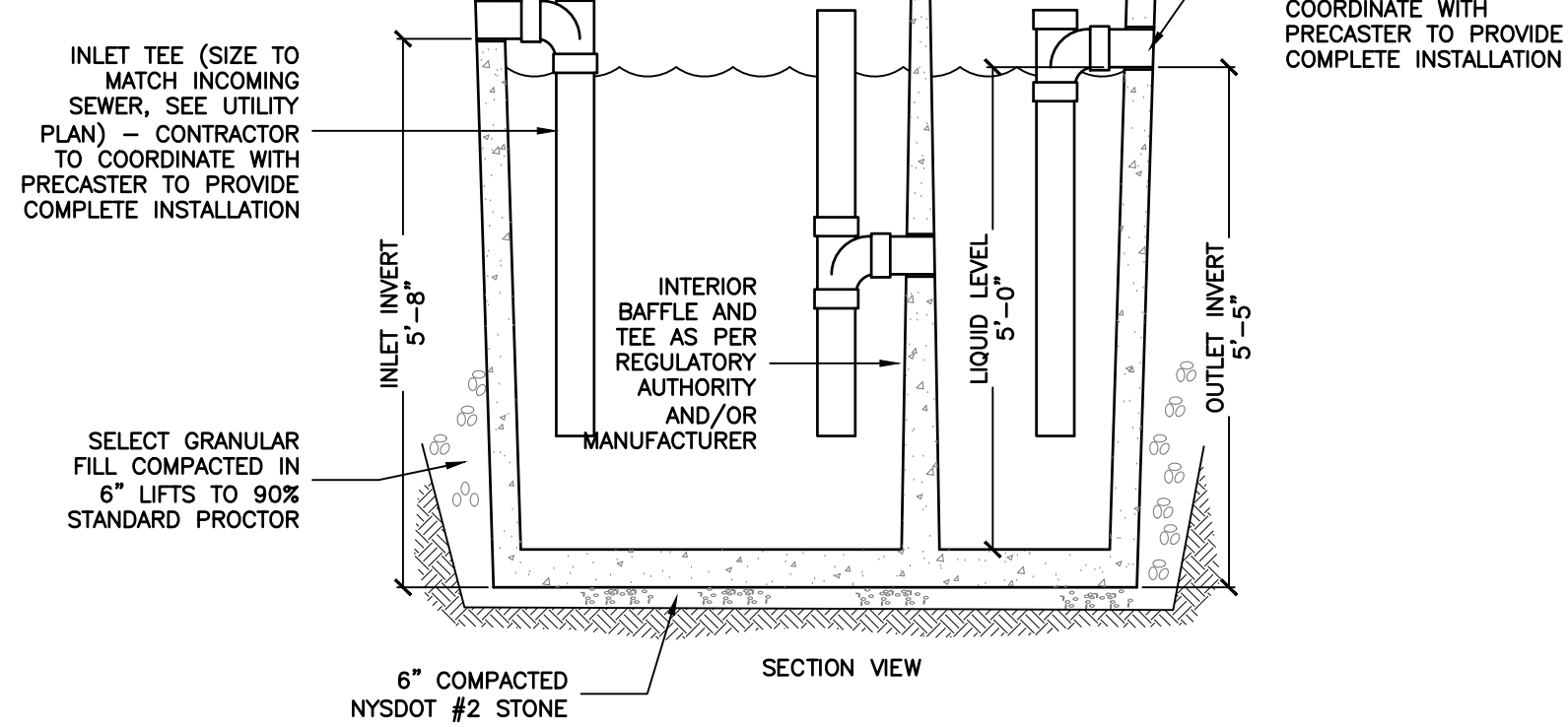
**4 TYPICAL WATER AND SEWER SEPARATION**  
C-11 SCALE: NTS



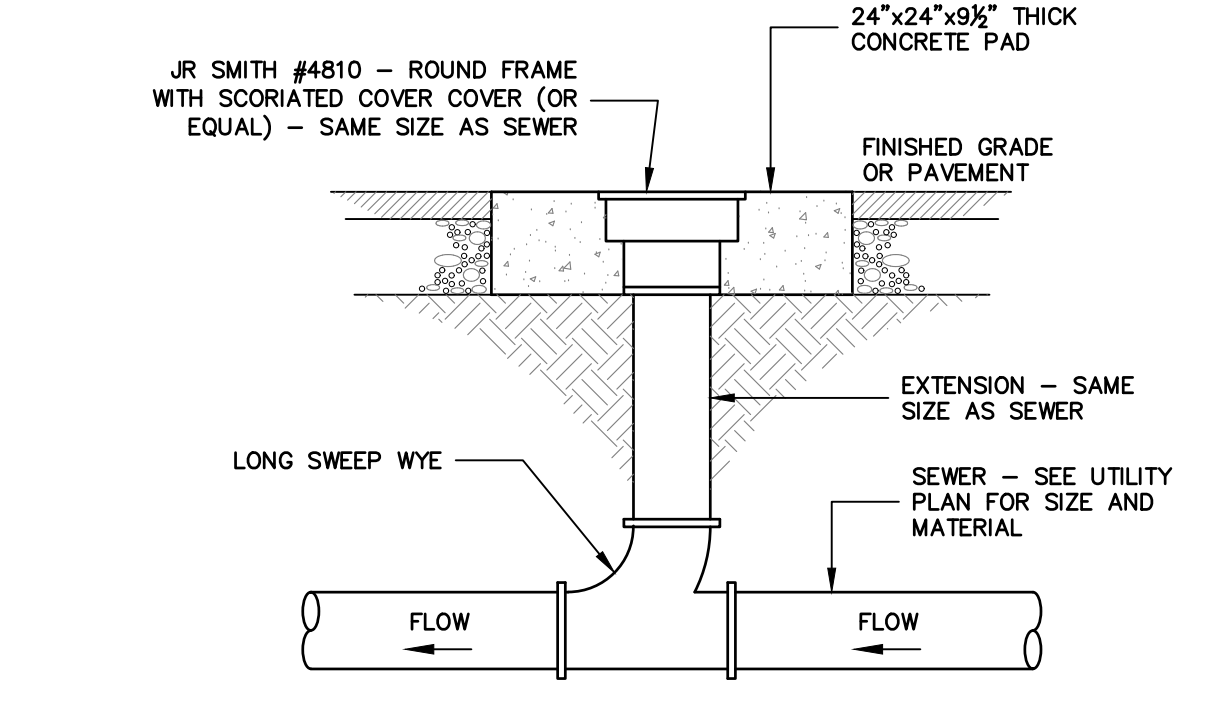
**5 TYPICAL WATER CEMENT LINED DUCTILE IRON PIPE TRENCH**  
C-11 SCALE: NTS



**6 PRECAST DRAINAGE STRUCTURE (CB AND DMH)**  
C-11 SCALE: NTS



**7 1,000 GALLON GREASE TRAP**  
C-11 SCALE: NTS



**8 TYPICAL SEWER CLEANOUT**  
C-11 SCALE: NTS

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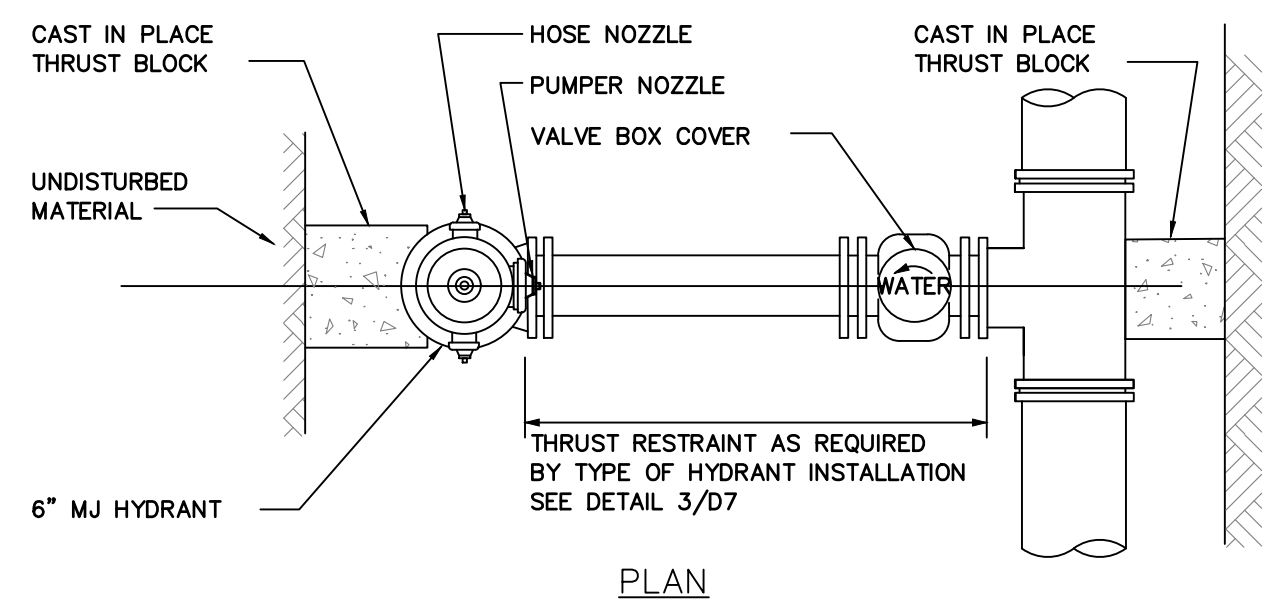
SHEET TITLE: **SITE DETAILS**

NO.	REVISION/ISSUE	DATE
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
5	ISSUED FOR PLANNING BOARD APPROVAL	11/2/2022

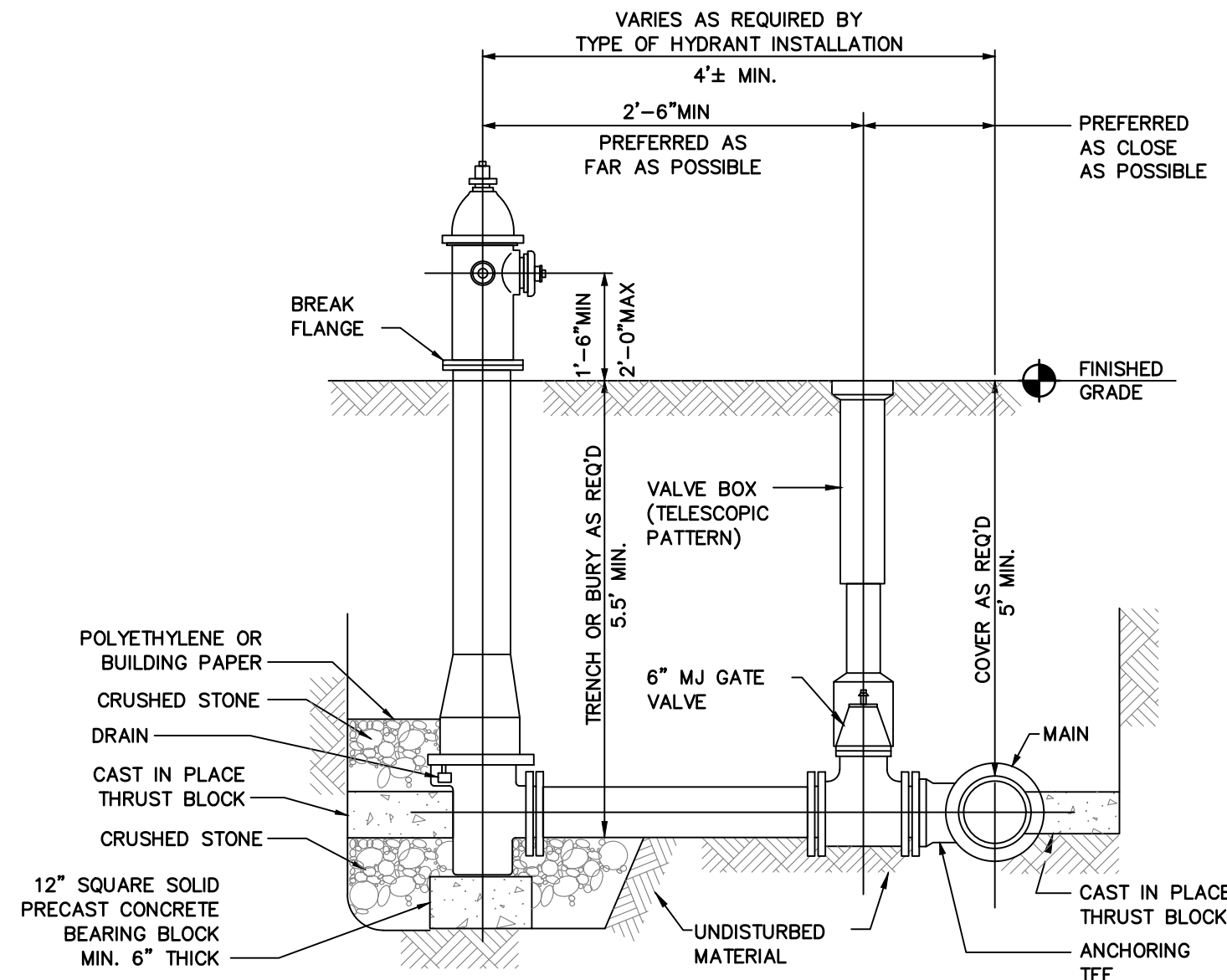
PREPARED BY: **NAPIERALA CONSULTING**  
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PROJECT NO. **19-1826**  
DATE **24 JAN 2022**  
SCALE **NTS**

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SHEET **C-11**



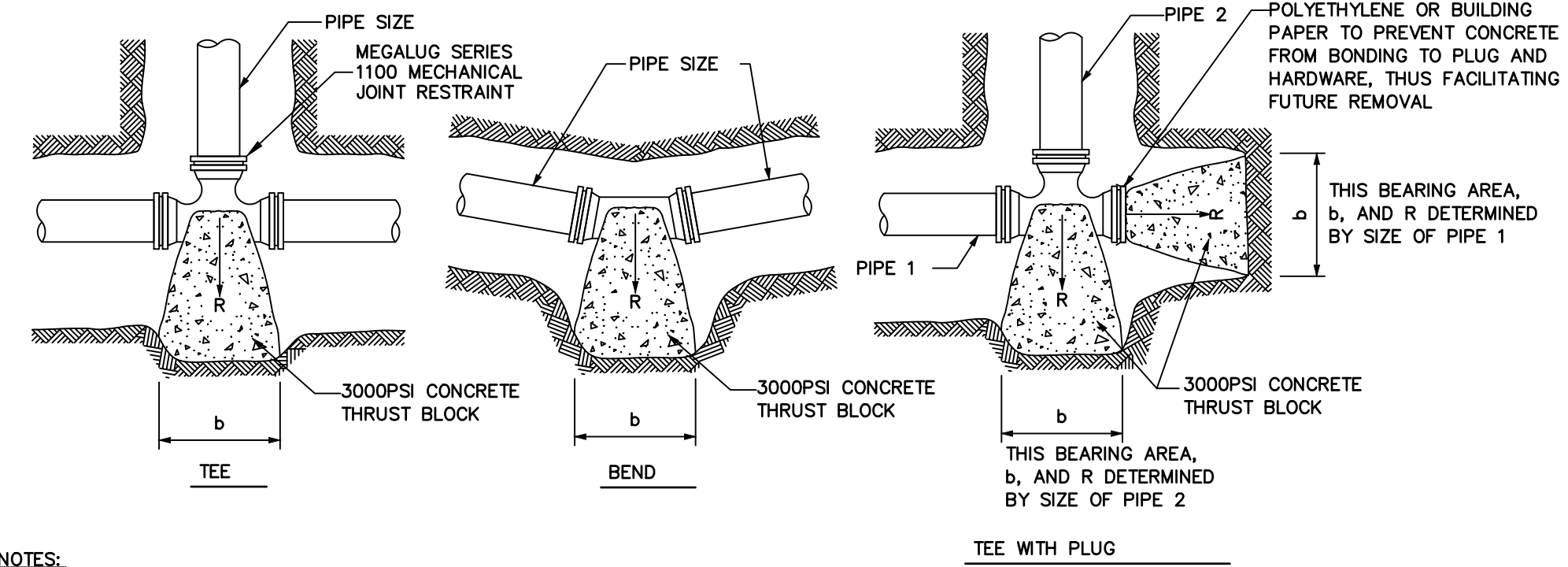
PLAN



ELEVATION

NOTE :

- 1) DETAILS TO BE VARIED AS REQUIRED TO SUIT DRAIN LOCATION IF DIFFERENT THAN SHOWN
- 2) COORDINATE MAKE AND MODEL WITH TOWN OF SENNETT



NOTES:

1. CONCRETE NOT TO OVERLAP ANY JOINT.
2. CONCRETE TO BE PLACED SO AS NOT TO INTERFERE WITH REMOVING OR INSTALLING ANY OF THE JOINTING HARDWARE.
3. FOR REDUCERS USE MECHANICAL JOINT FITTINGS WITH RETAINER GLANDS.

THRUST REACTIONS--R(LB) PER 100PSI INTERNAL PRESSURE					
NOM PIPE DIA IN.	DEAD END	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4	1,810	2,559	1,385	706	355
6	3,739	5,288	2,862	1,459	733
8	6,433	9,097	4,923	2,510	1,261
10	9,677	13,685	7,406	3,776	1,897
12	13,685	19,353	10,474	5,340	2,683
14	18,385	26,001	14,072	7,174	3,604
16	23,779	33,628	18,199	9,278	4,661
18	29,865	42,235	22,858	11,653	5,855

\*FACTOR OF SAFETY=1.5 SOIL BEARING OF 3,000 PSF 225 PSI DESIGN PRESSURE

REQUIRED BEARING AREAS -b (SQFT) FOR BEARING BLOCKS*					
PIPE SIZE (INCHES)	TEE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4	2.0	2.8	1.5	0.8	0.4
6	4.2	5.9	3.2	1.6	0.8
8	7.2	10.1	5.5	2.8	1.4
10	10.9	15.4	8.3	4.2	2.1
12	15.4	21.8	11.8	6.0	3.0
14	20.6	29.1	15.8	8.0	4.0
16	26.8	37.9	20.5	10.4	5.2
18	33.6	47.5	25.7	13.1	6.6

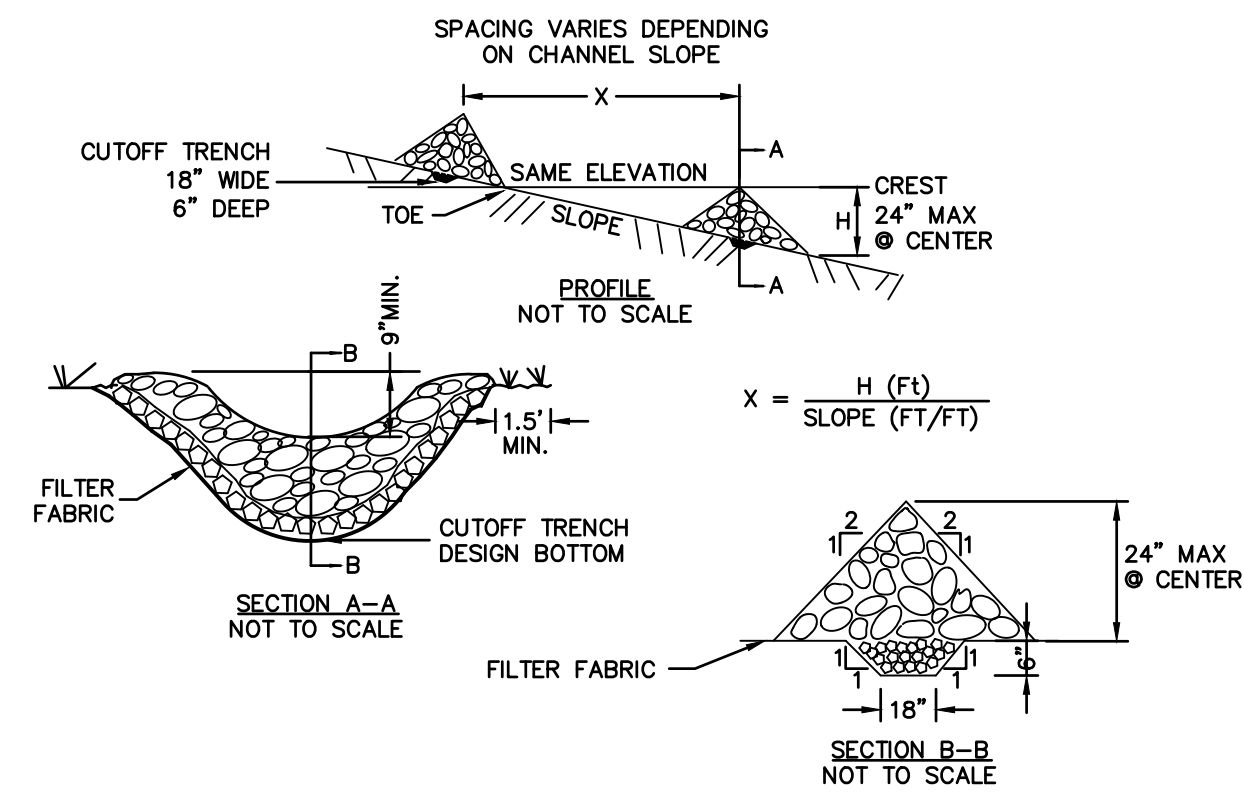
\*FACTOR OF SAFETY=1.5 SOIL BEARING OF 3,000 PSF 225 PSI DESIGN PRESSURE

NOTES:

1. VALUES FOR TEE APPLY TO TEES, END PLUGS, CAPS, AND TAPPING SLEEVES.
2. REQUIRED BEARING AREAS ARE DUE TO THRUSTS CAUSED BY 150PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE.
3. REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 3,000 POUNDS PER SQUARE FOOT. DUE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS MAY BE MODIFIED BY THE ENGINEER.

SOIL	BEARING STRENGTH B (LB/SQ FT)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

4. IN MUCK, PEAT, OR RECENTLY PLACED FILL ALL THRUSTS SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.

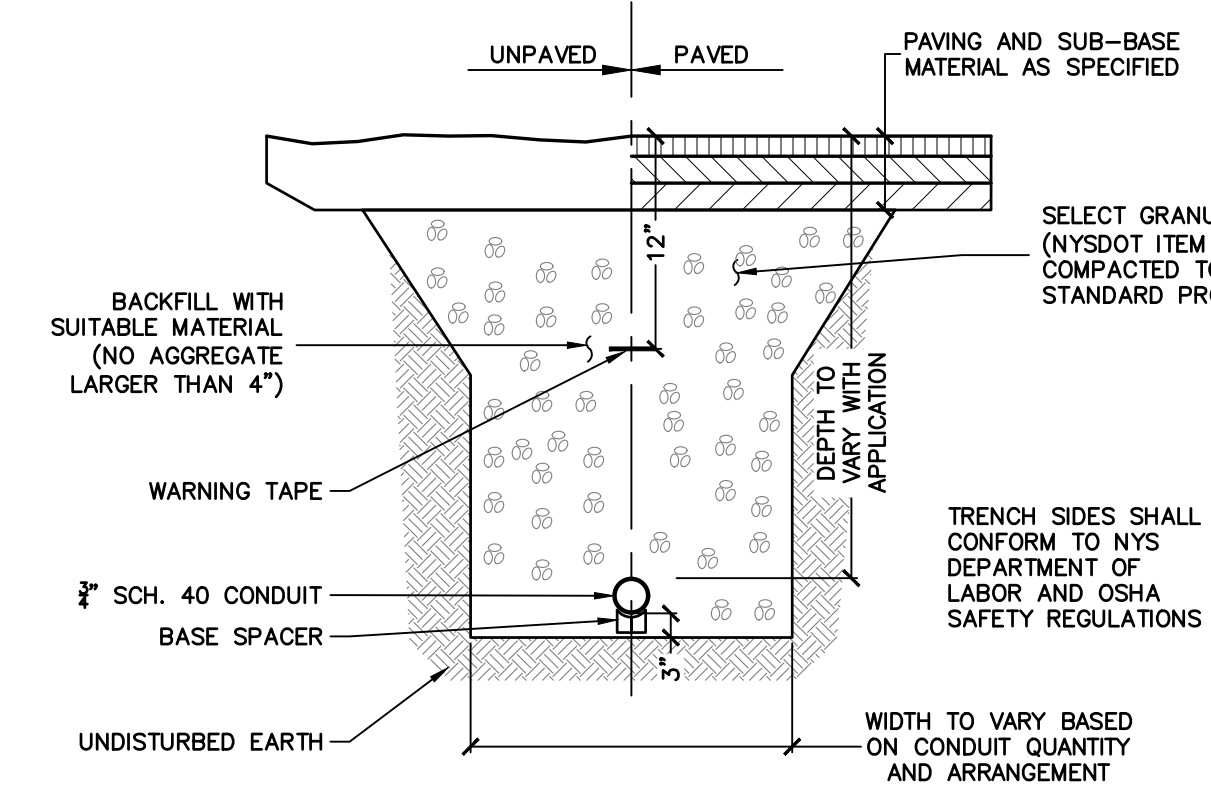


CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
6. MAXIMUM DRAINAGE AREA 2 ACRES.

3 TYPICAL STONE CHECK DAM

C-12 SCALE: NTS



4 TYPICAL UNDERGROUND ELECTRIC TRENCH

C-12 SCALE: NTS

1 TYPICAL HYDRANT INSTALLATION

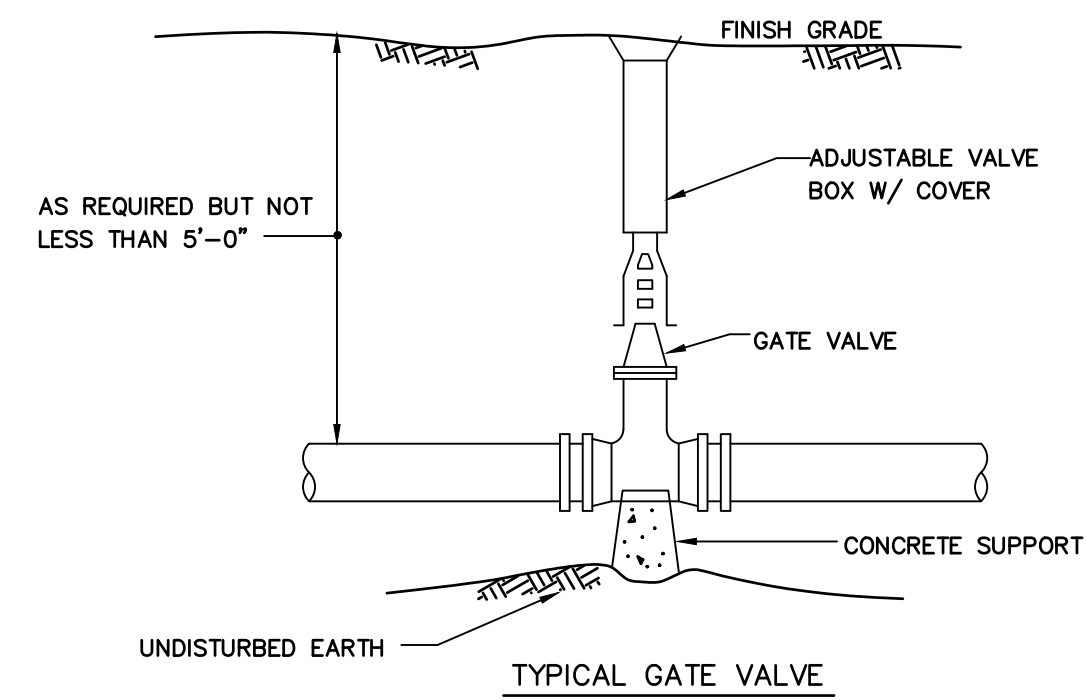
C-12 SCALE: NTS

2 TYPICAL CONCRETE THRUST BLOCK

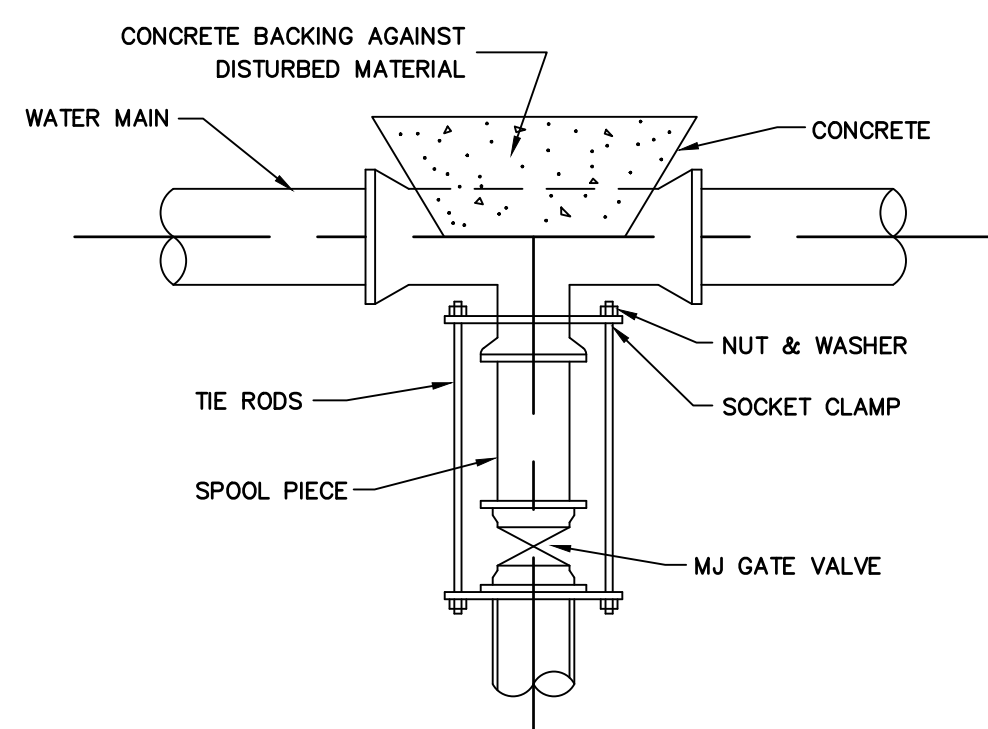
C-12 SCALE: NTS

4 TYPICAL UNDERGROUND ELECTRIC TRENCH

C-12 SCALE: NTS



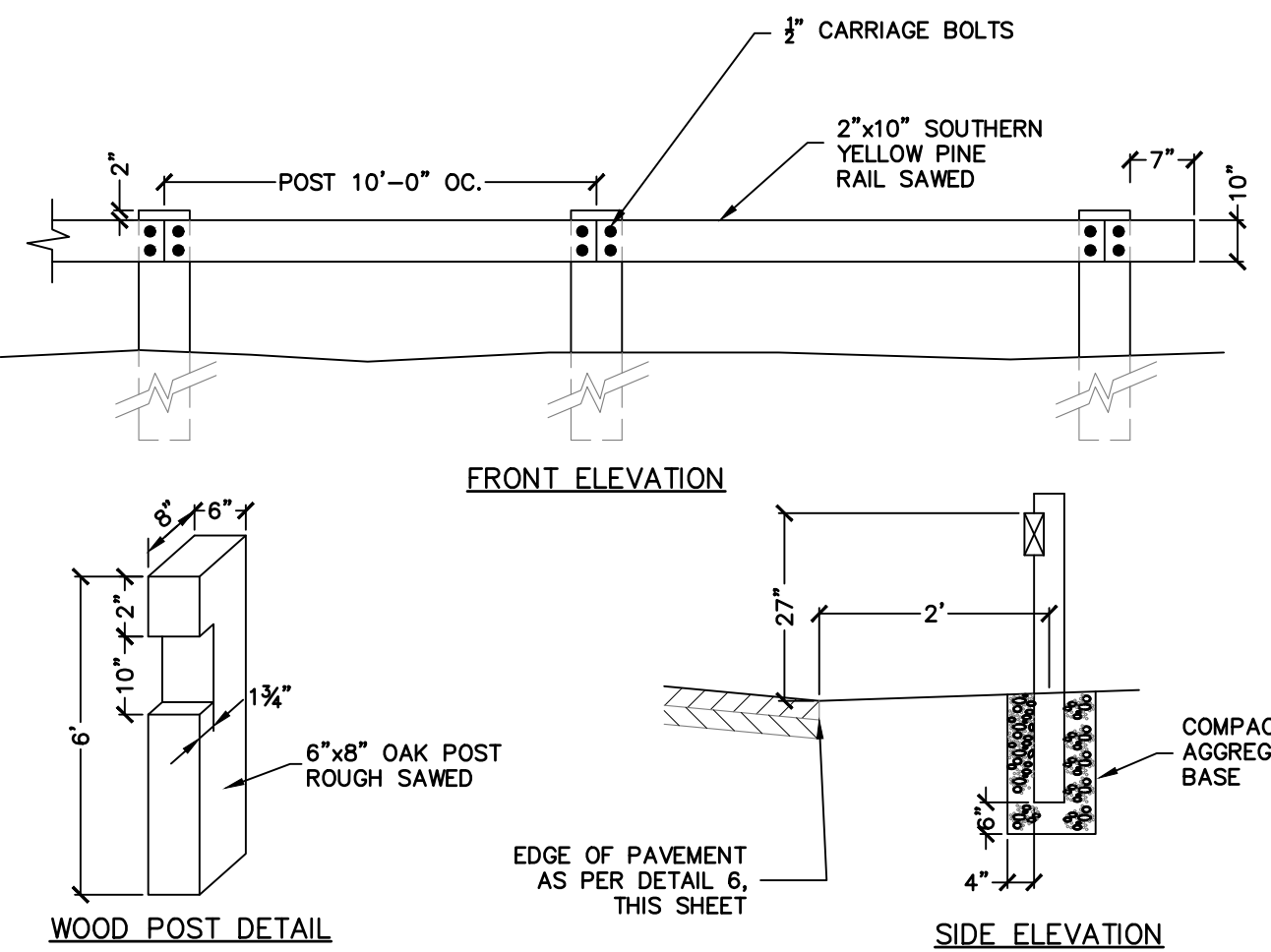
TYPICAL GATE VALVE



TYPICAL VALVE CONNECTION  
RESTRAINED JOINT TEE

5 TYPICAL VALVE INSTALLATION

C-12 SCALE: NTS



6 TIMBER GUIDE RAIL

C-12 SCALE: NTS

PROJECT TITLE: **PROPOSED GROCERY STORE  
547 E GENESEE ST (ROUTE 5)**  
VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

SITE DETAILS

SHEET TITLE:

NO.	REVISION/ISSUE	DATE
5	ISSUED FOR PLANNING BOARD APPROVAL	11/2/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

PREPARED BY: **NAPIERALA CONSULTING**  
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PROJECT NO. **19-1826**  
DATE **24 JAN 2022**  
SCALE **NTS**

SHEET **C-12**

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# EROSION CONTROL NOTES

## EROSION AND SEDIMENT CONTROLS

- STABILIZATION PRACTICES (TEMPORARY)
  - TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS WHEN CONSTRUCTION ACTIVITY HAS CEASED, OR WILL CEASE, IN AN AREA FOR 14 DAYS. SEEDING MIXTURES AND APPLICATION RATES ARE LISTED ON SHEET C-2.
  - MULCHING EXPOSED AREAS.
  - FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.
- STABILIZATION PRACTICES (PERMANENT)
  - LAND CLEARING ACTIVITIES SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND SHALL PROGRESS AS EARTHWORK IS NEEDED.
  - PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS.
- STRUCTURAL MEASURES TEMPORARY
  - STABILIZED CONSTRUCTION ENTRANCE: AT THE ENTRANCE TO THE ALL DISTURBED AREAS FROM AN EXISTING ROADWAY, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED. THE PURPOSE OF THE STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY.
  - SILT FENCE: SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN. THE FABRIC SHALL MEET THE SPECIFICATIONS NOTED ON THE DETAILS UNLESS OTHERWISE APPROVED BY THE APPROPRIATE EROSION AND SEDIMENT CONTROL PLAN APPROVAL AUTHORITY. SUCH APPROVAL SHALL NOT CONSTITUTE STATEWIDE ACCEPTANCE.
  - DUST CONTROL: DUST CONTROL IS THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.
  - SEDIMENT TRAP: SEDIMENT TRAP TO BE INSTALLED IN DETENTION BASIN AREA FOR USE DURING CONSTRUCTION. STONE OUTLET SEDIMENT TRAP TO BE INSTALLED AS PER DETAIL TO ELIMINATE SEDIMENT DISCHARGE TO DOWNSTREAM AREAS DURING CONSTRUCTION PHASE.
- STRUCTURAL PRACTICES (PERMANENT)
  - ROCK OUTLET PROTECTION: ROCK OUTLET PROTECTION IS A SECTION OF ROCK PROTECTION PLACED AT THE OUTLET END OF CULVERTS, CONDUITS, OR CHANNELS. THE PURPOSE OF THE ROCK OUTLET PROTECTION IS TO REDUCE THE DEPTH, VELOCITY, AND ENERGY OF WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING DOWNSTREAM REACH.
  - REINFORCED SLOPE PROTECTION: A TEMPORARY PROTECTIVE COVERING PLACED ON A PREPARED PLANTING AREA THAT IS ANCHORED IN PLACE BY STAPLES OR OTHER MEANS TO AID IN CONTROLLING EROSION BY ABSORBING RAIN SPLASH ENERGY AND WITHSTAND OVERLAND FLOW AS WELL AS PROVIDE A MICROCLIMATE TO PROTECT AND PROMOTE SEED ESTABLISHMENT.
  - LAND GRADING: PERMANENT RESHAPING OF THE EXISTING LAND SURFACE BY GRADING IN ACCORDANCE WITH AN ENGINEERING TOPOGRAPHIC PLAN AND SPECIFICATION TO PROVIDE EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON DISTURBED, RESHAPED AREAS.

- SEQUENCE OF MAJOR ACTIVITIES
 

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE ABOVE LISTED EROSION AND SEDIMENT CONTROL PRACTICES. THE CONTRACTOR MAY DESIGNATE THESE TASKS TO CERTAIN SUBCONTRACTORS AS IS SEEN FIT, BUT THE ULTIMATE RESPONSIBILITY FOR IMPLEMENTING THESE CONTROLS AND ENSURING THEIR PROPER FUNCTION REMAINS WITH THE CONTRACTOR. THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

  - CONDUCT PRECONSTRUCTION MEETING
  - CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE/EXIT AT THE LOCATION SHOWN ON THE PLAN.
  - INSTALL PERIMETER SILT FENCE AND SECURITY CONSTRUCTION FENCE IN THE LOCATIONS SHOWN ON THE PLAN.
  - ESTABLISH STAGING AREA ON PROJECT SITE
  - CONSTRUCT TEMPORARY SEDIMENT TRAP
  - REMOVE TOPSOIL, STOCKPILE AND STABILIZE
  - SITE GRADING. IMPORT OF FILL MATERIAL TO RAISE SITE TO PROPOSED GRADE (OR SUB-GRADE, AS APPROPRIATE).
  - BUILDING FOUNDATION EXCAVATION (BUILDING CONSTRUCTION TO CONTINUE CONCURRENTLY WITH REMAINING SITE WORK).
  - DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
  - UNDERGROUND UTILITY INSTALLATIONS.
  - INSTALL FILTER FABRIC DROP INLET PROTECTION AT ALL STORM INLETS.
  - COMPACT GRAVEL ALONG ALL DRIVE AISLES AND PARKING AREAS
  - SITE CONCRETE CONSTRUCTION.
  - FINALIZE PAVEMENT SUBGRADE PREPARATION.
  - REMOVE INLET PROTECTION NO MORE THAN 24 HOURS PRIOR TO PLACING ASPHALT PAVEMENT.
  - PAVE AREAS NOTED ON PLAN.
  - DEEP RIPING OF NON-PAVED AREAS AS REQUIRED (NON-PAVED AREAS THAT HAVE BEEN COMPACTED DURING CONSTRUCTION VIA CONSTRUCTION TRAFFIC).
  - FINAL GRADING, SEEDING, AND PLANTING.
  - CONSTRUCT RETENTION BASINS AND OUTLET CONTROLS UPON UPSTREAM STABILIZATION OF SITE
  - REMOVE SEDIMENT TRAP AND FINALIZE GRADING OF DETENTION BASIN
  - REMOVE SILT FENCE ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.

## MAINTENANCE/INSPECTION PROCEDURES

- THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES.
- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST TWICE EVERY SEVEN (7) CALENDAR DAYS
  - ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF REPAIRS OR OTHER EROSION CONTROL MEASURES ARE FOUND TO BE NECESSARY, THEY WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
  - BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
  - SILT FENCES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE SECURELY IN THE GROUND.
  - TEMPORARY AND PERMANENT SEEDING AND ALL OTHER STABILIZATION MEASURES WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
  - A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. COPIES OF THE REPORT FORMS TO BE COMPLETED BY THE INSPECTOR ARE INCLUDED IN THIS SWPPP.
  - THE OPERATOR SHALL HAVE A "QUALIFIED PROFESSIONAL" CONDUCT SITE INSPECTIONS FOLLOWING THE COMMENCEMENT OF CONSTRUCTION. A "QUALIFIED PROFESSIONAL" IS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICE OF EROSION AND SEDIMENT CONTROLS, SUCH AS A LICENSED PROFESSIONAL ENGINEER, CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), OR SOIL SCIENTIST.
  - DISTURBED AREAS AND MATERIALS STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING STORMWATER SYSTEMS.
  - REPORT TO NYS DEC WITHIN 24 HOURS ANY NONCOMPLIANCE WITH THE SWPPP THAT WILL ENDANGER PUBLIC HEALTH OR THE ENVIRONMENT. FOLLOW UP WITH A WRITTEN REPORT WITHIN 5 DAYS OF THE NONCOMPLIANCE EVENT. THE FOLLOWING EVENTS REQUIRE 24 HOUR REPORTING: A) ANY UNANTICIPATED BYPASS WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, B) ANY UPSET WHICH EXCEEDS ANY EFFLUENT LIMITATION IN THE PERMIT, AND C) A VIOLATION OF A MAXIMUM DAILY DISCHARGE LIMITATION FOR ANY OF THE POLLUTANTS LISTED BY THE EPA IN THE PERMIT TO BE

REPORTED WITHIN 24 HOURS. THE WRITTEN SUBMISSION MUST CONTAIN A DESCRIPTION OF THE NON-COMPLIANCE AND ITS CAUSE, THE PERIOD OF NON-COMPLIANCE, INCLUDING EXACT DATES AND TIMES, AND IF THE NON-COMPLIANCE HAS NOT BEEN CORRECTED, THE ANTICIPATED TIME IT IS EXPECTED TO CONTINUE; AND STEPS TAKEN OR PLANNED TO REDUCE, ELIMINATE, AND PREVENT RECURRENT OF THE NON-COMPLIANCE.

10. RELEASES OF HAZARDOUS SUBSTANCES OR OIL IN EXCESS OF REPORTABLE QUANTITIES (AS ESTABLISHED UNDER 40 CFR 110, 40 CFR 117 OR 40 CFR 302) MUST BE REPORTED. FORM G-1 PROVIDES FURTHER DETAILS ON THE NOTIFICATION AND REPORTING PROCESS.

## INSPECTION AND MAINTENANCE REPORT FORMS

ONCE INSTALLATION OF ANY REQUIRED OR OPTIONAL EROSION CONTROL DEVICE OR MEASURE HAS BEEN IMPLEMENTED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND SHALL BE PERFORMED BY A QUALIFIED PROFESSIONAL. THE FORMS FOUND IN THIS SWPPP SHALL BE USED BY THE INSPECTOR TO INVENTORY AND REPORT THE CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.

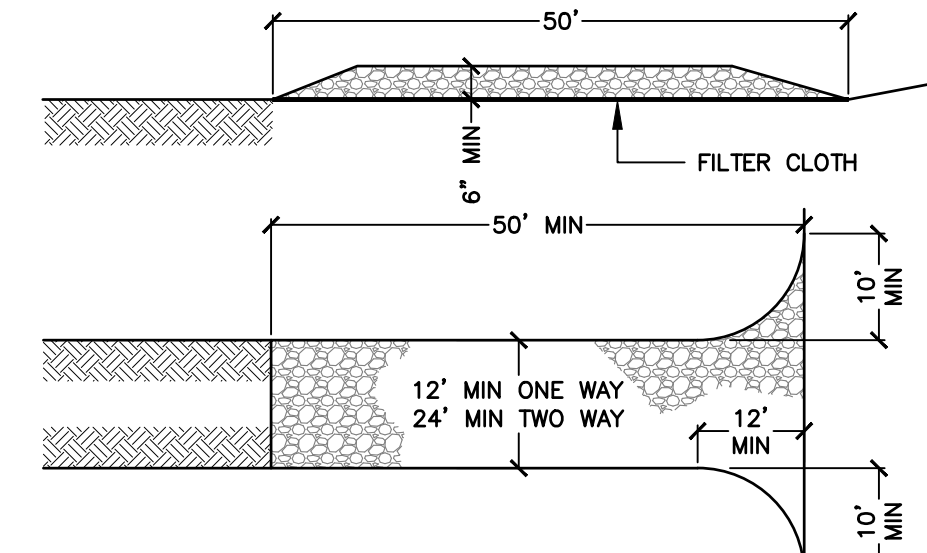
THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SWPPP AND SHALL BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, THE OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL BE PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE TRANSMISSION. INSPECTION AND MAINTENANCE REPORT FORMS ARE TO BE MAINTAINED BY THE PERMITTEE FOR FIVE YEARS FOLLOWING THE FINAL STABILIZATION OF THE SITE.

## OTHER RECORD-KEEPING REQUIREMENTS

- THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:
- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED
  - DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS
  - DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
  - DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY
  - DATES OF RAINFALL AND THE AMOUNT OF RAINFALL
  - DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF ANY SPILLS OF HAZARDOUS MATERIALS
  - RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED

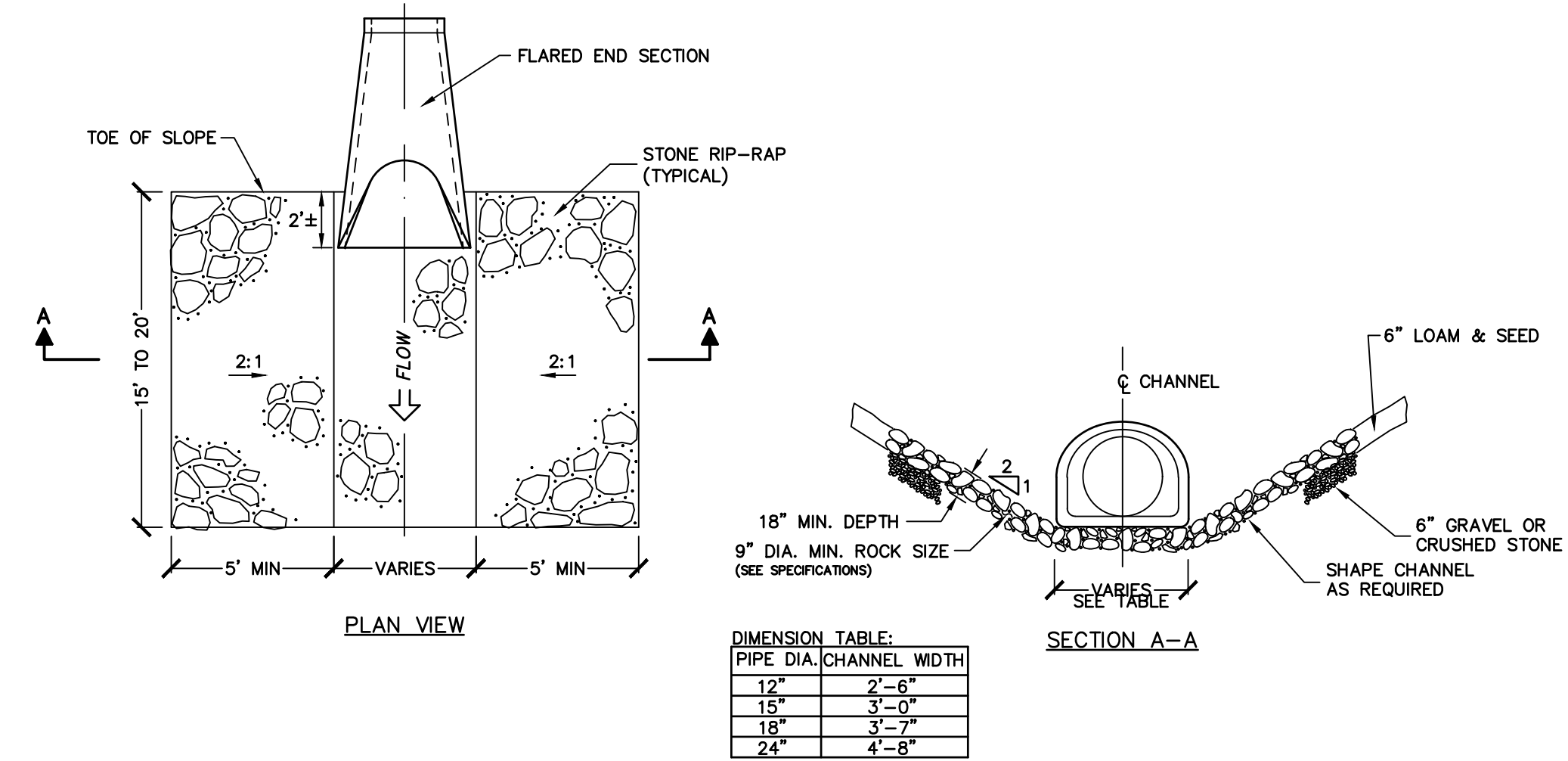
## CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOULDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 3 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION 8-4 VEGETATIVE STABILIZATION.



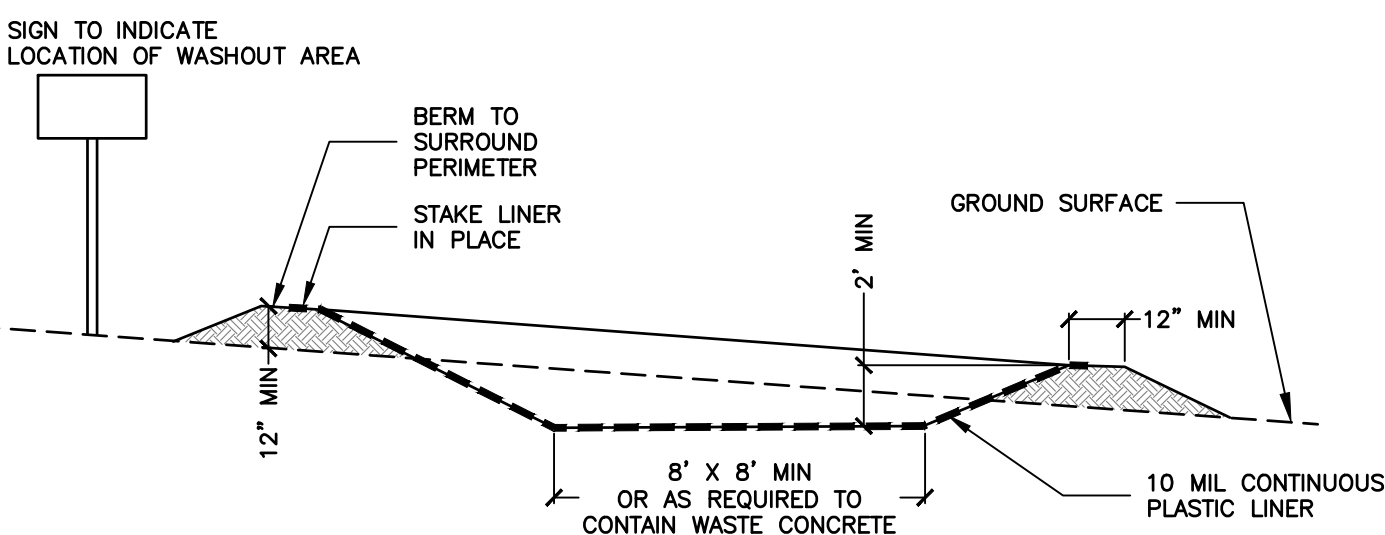
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 24 FEET MINIMUM.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## ROCK RIPRAP OUTLET PROTECTION UNCONFINED DOWNSTREAM SECTION



## 1 SLOPE STABILIZATION MATTING

C-13 SCALE: NTS



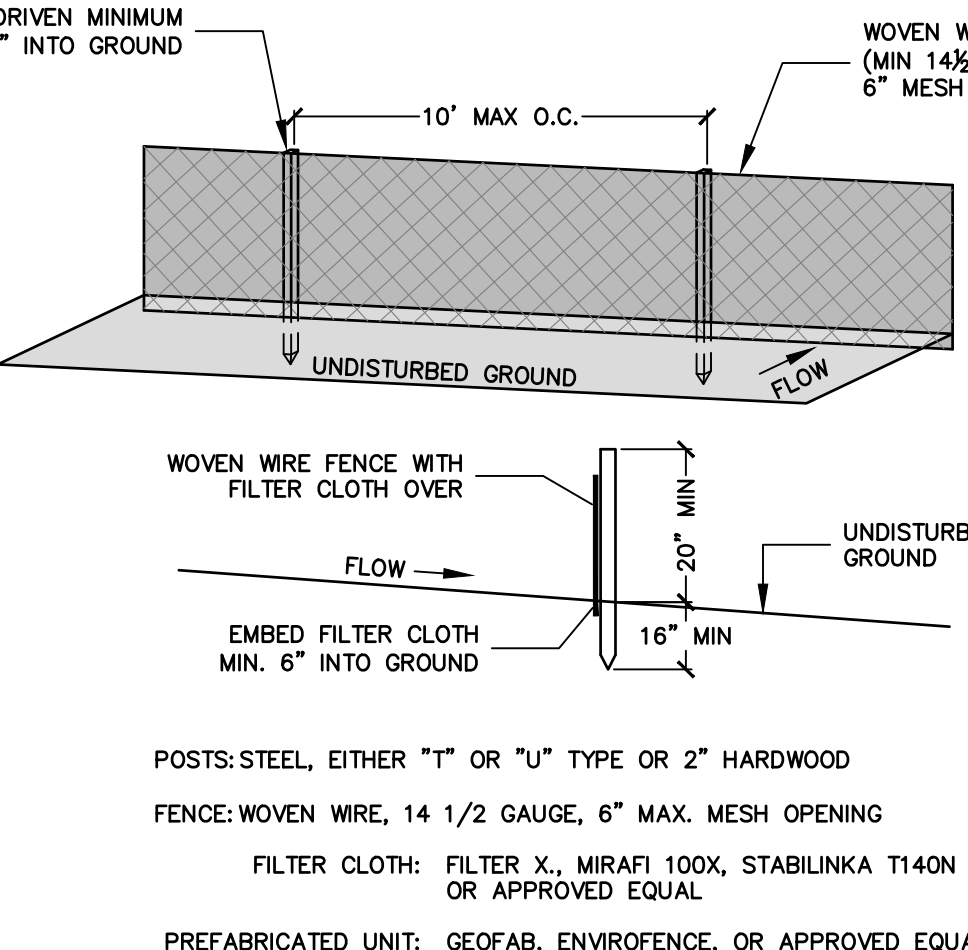
- NOTES:
- CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
  - CONCRETE WASHOUT OUT AREA SHALL BE LINED WITH A 10 MIL IMPERMEABLE LINER AND STAKED IN PLACE.
  - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE LOCATION OF CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
  - THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
  - AT THE END OF CONSTRUCTION ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
  - WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED.
  - ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
  - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
  - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
  - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
  - INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

## 4 CONCRETE WASHOUT AREA

C-13 SCALE: NTS

## 5 SILT FENCE

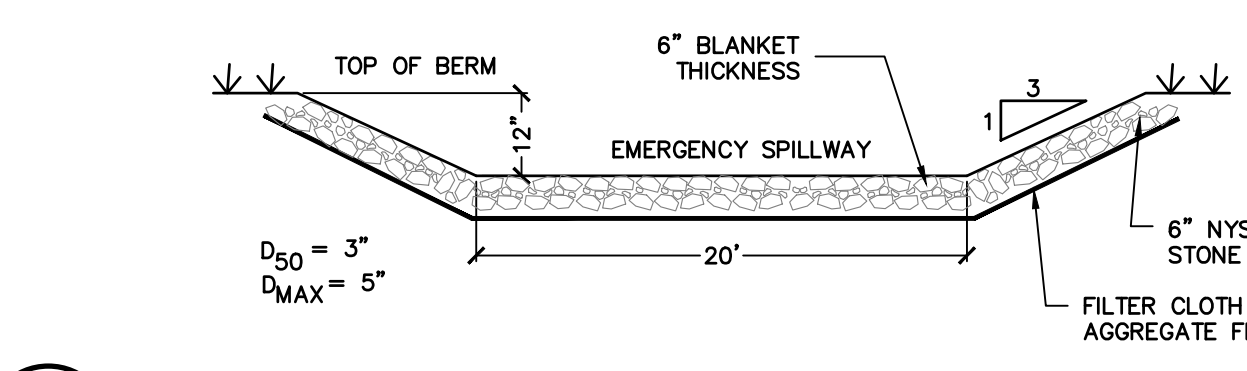
C-13 SCALE: NTS



- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH IS TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

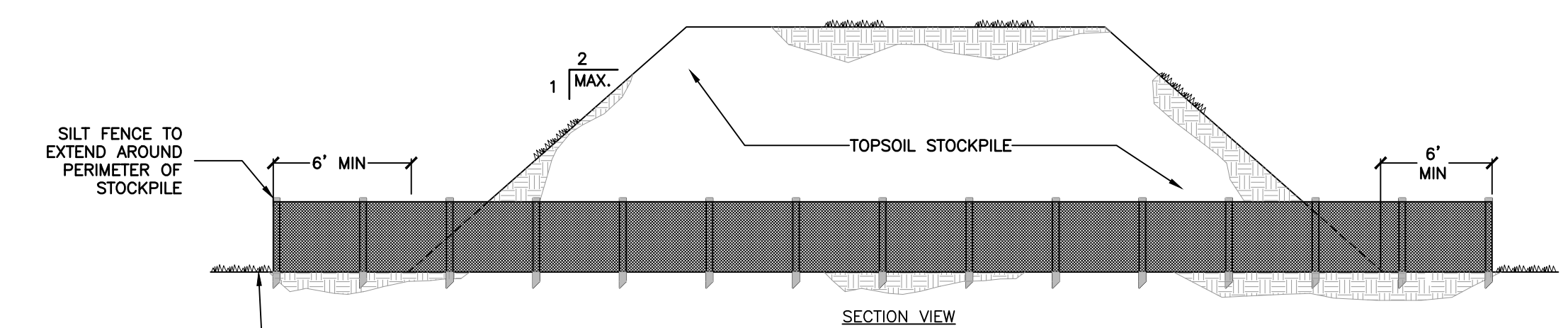
## 2 CONSTRUCTION ENTRANCE

C-13 SCALE: NTS



## 6 RIP RAP EMERGENCY SPILLWAY

C-13 SCALE: NTS



## 7 TYPICAL TOPSOIL STOCKPILE

C-13 SCALE: NTS

- NOTES:
- SEE EROSION CONTROL PLAN FOR LOCATION OF STOCKPILE
  - REFER TO SILT FENCE DETAIL FOR INSTALLATION OF SILT FENCE
  - IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS IT SHALL BE TEMPORARILY SEEDED FOR STABILIZATION
  - SILT FENCES TO BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN REMOVED

PROJECT TITLE: **PROPOSED GROCERY STORE 547 E GENESEE ST (ROUTE 5)**  
 VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
 PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
 25 PARCE AVENUE, SUITE 155 FAIRPORT, NY 14450

## SITE DETAILS

NO.	REVISION/ISSUE	DATE
5	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
4	REVISED AS PER VILLAGE ENGINEER/PLANNING BOARD COMMENTS	8/15/2022
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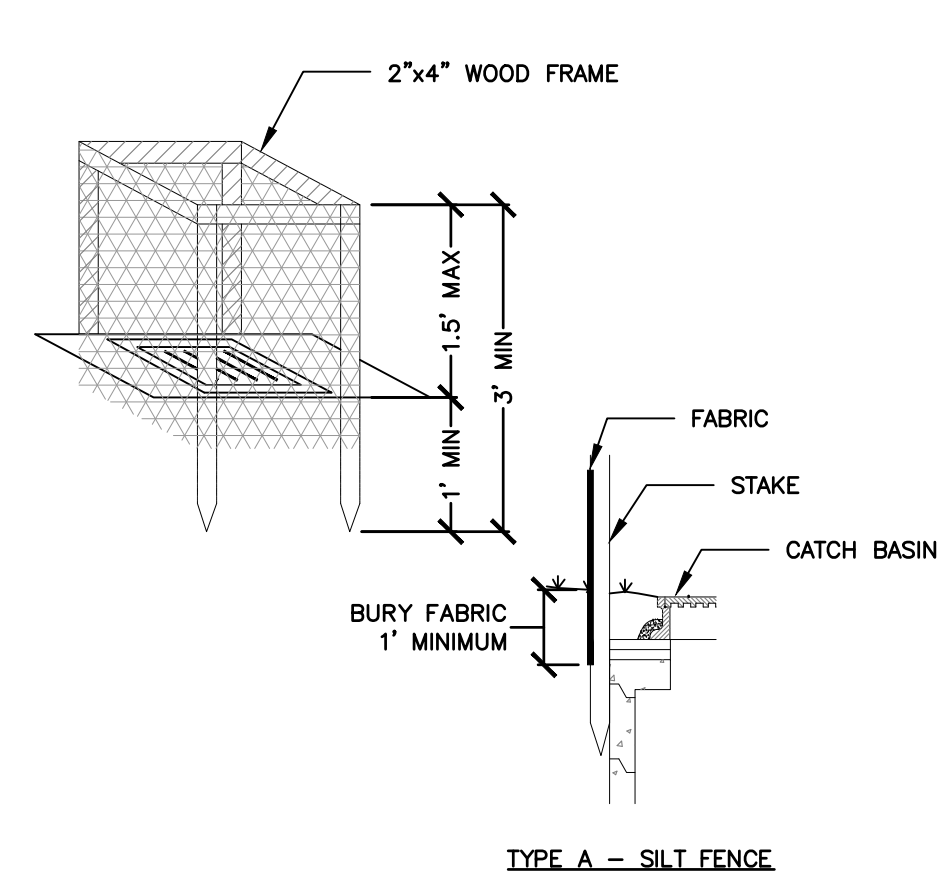
PREPARED BY: **NAPIERALA CONSULTING**  
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 110 FAYETTE STREET  
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PROJECT NO.: **19-1826**  
 DATE: **24 JAN 2022**  
 SCALE: **NTS**

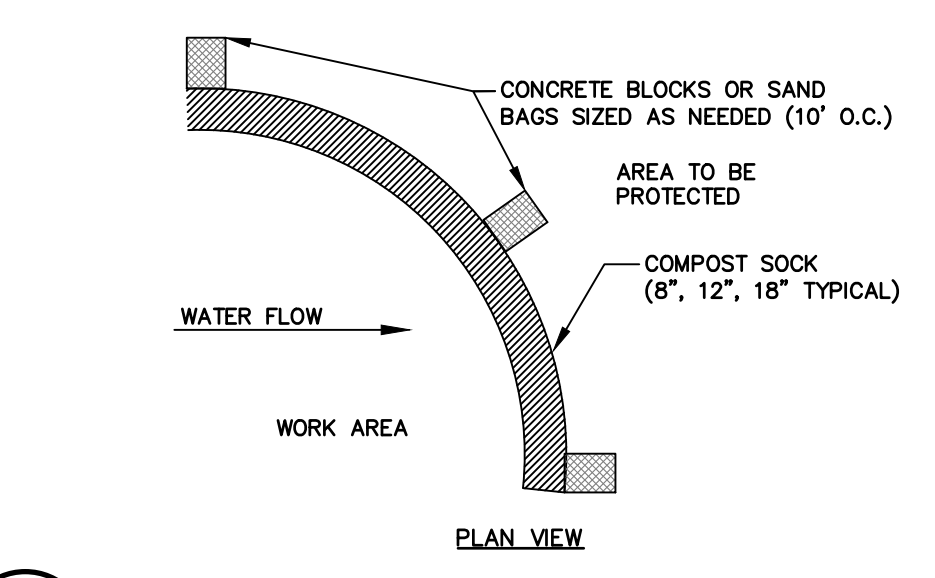
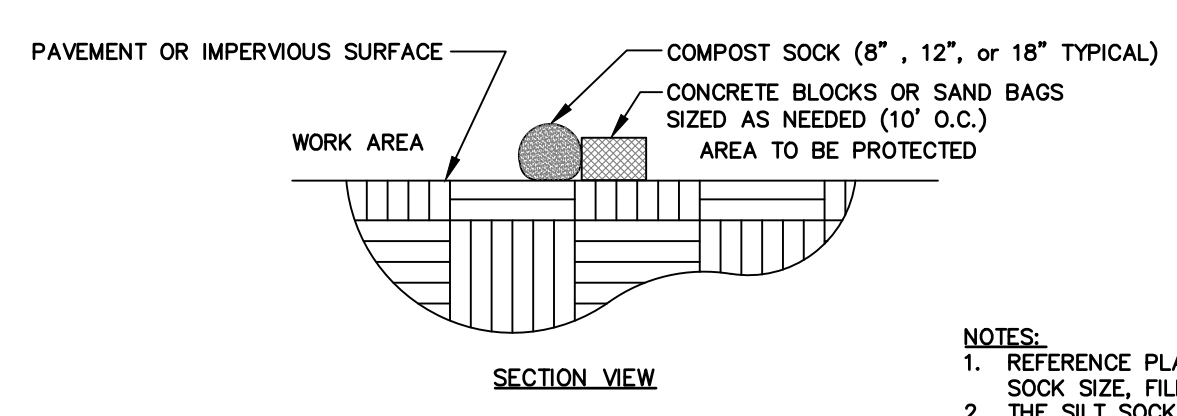
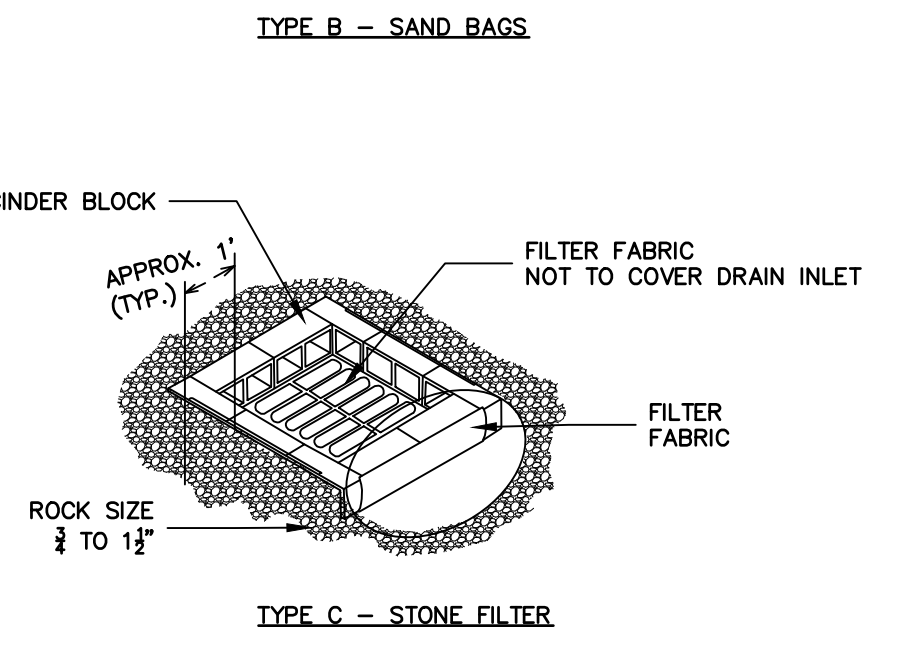
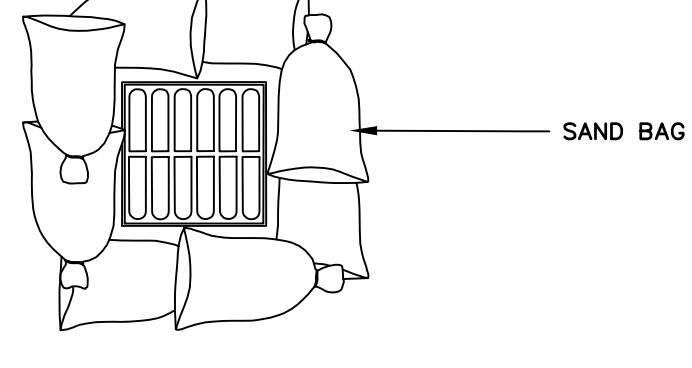
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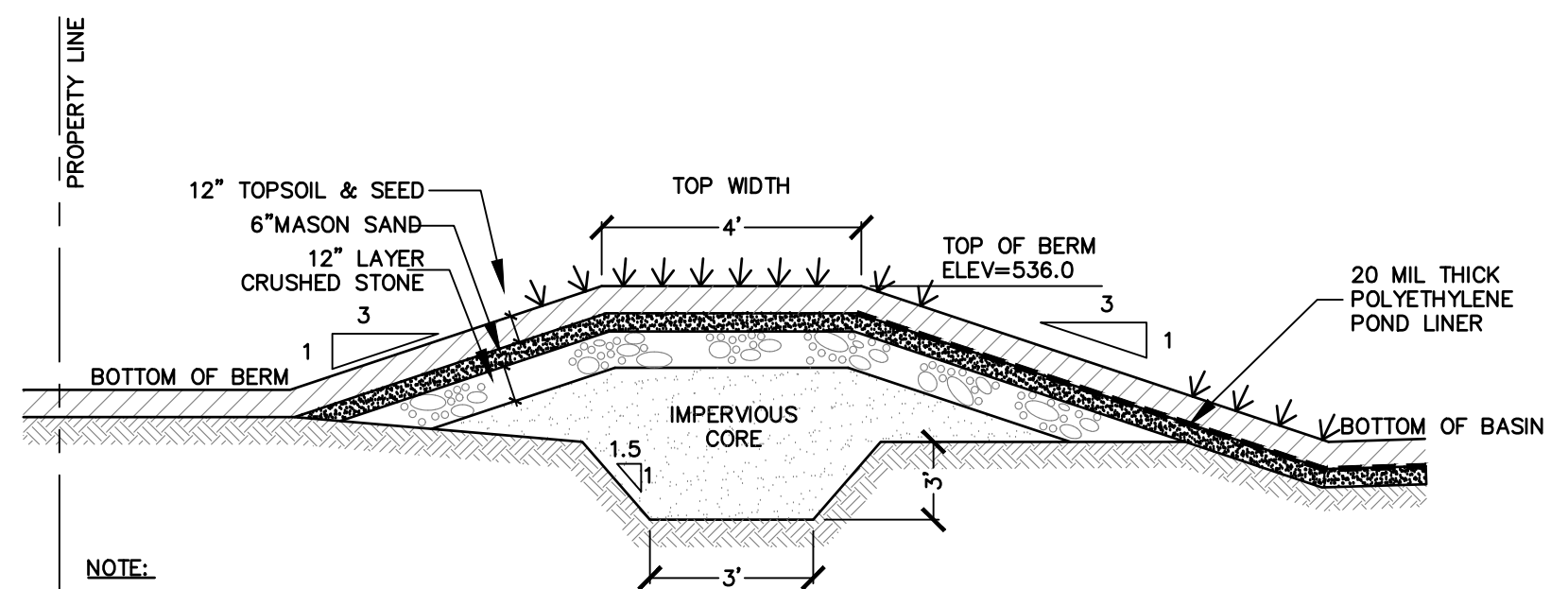




- CONSTRUCTION SPECIFICATIONS**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
  2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  3. STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
  4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  6. A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.



- NOTES:**
1. REFERENCE PLAN AND/OR TECHNICAL SPECIFICATIONS FOR SILT SOCK SIZE, FILL MATERIAL AND APPROVED MANUFACTURERS.
  2. THE SILT SOCK SHALL BE PLACED AT LOCATIONS INDICATED ON PLANS AND SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA.
  3. CONTRACTORS IS RESPONSIBLE FOR ESTABLISHING A WORKING EROSION CONTROL SYSTEM AND MAY, WITH APPROVAL OF THE OWNER'S REPRESENTATIVE, WORK OUTSIDE THE MINIMUM CONSTRUCTION REQUIREMENTS AS NEEDED.
  4. THE CONTRACTOR SHALL MAINTAIN THE SILT SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  5. THE CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK WHEN THEY REACH 1/4 OF THE EXPOSED HEIGHT OF THE DEVICE OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
  6. THE COMPOST FILL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE OWNER'S REPRESENTATIVE.

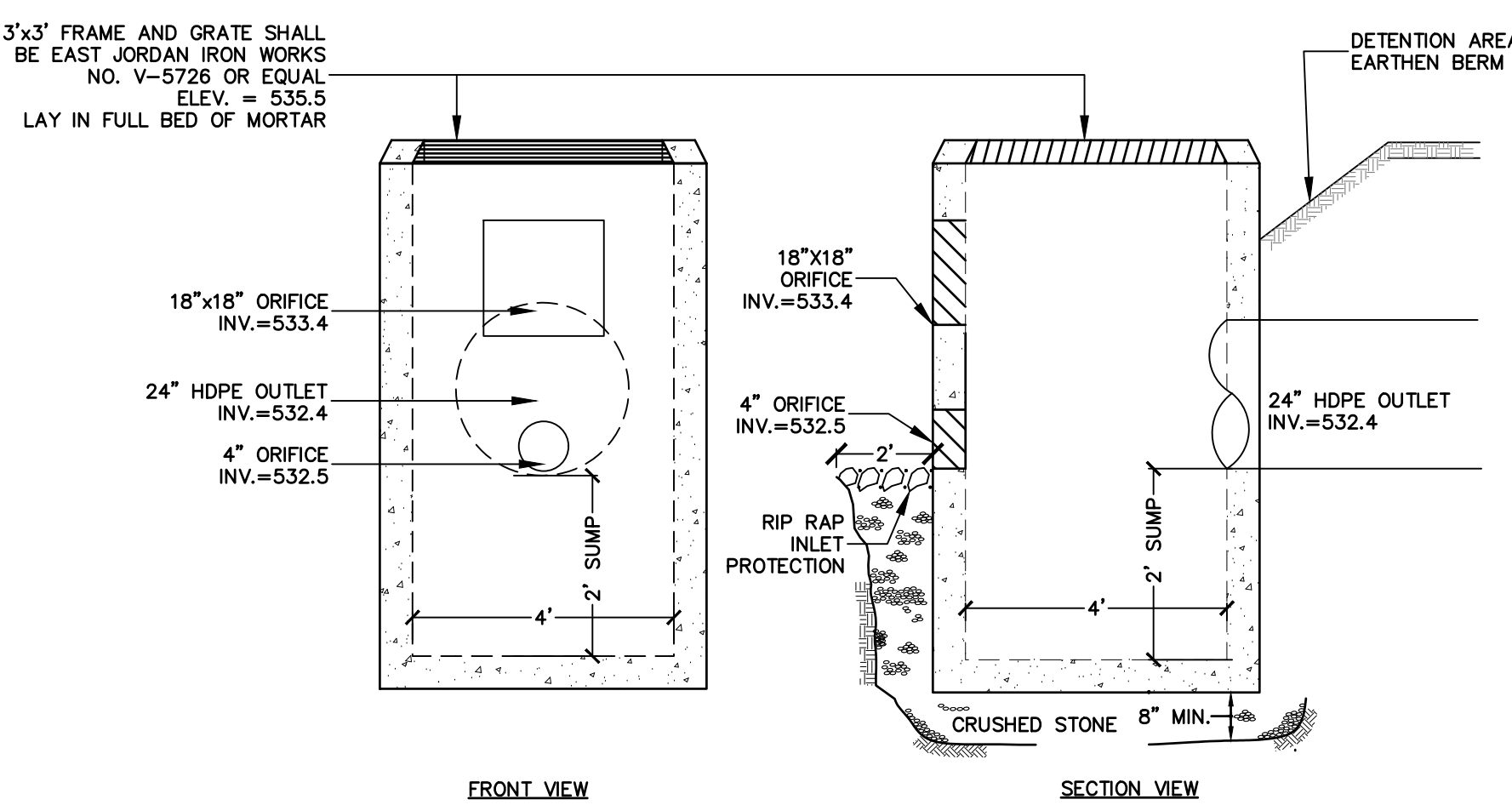


- NOTE:**
1. IMPERVIOUS CORE TO CONSIST OF A CLAY SOIL WITH A PERMEABILITY LESS THAN 0.0001 mm/SEC. CORE MATERIAL TO BE PLACED IN 6" LIFTS AND COMPACTED TO 92% DENSITY.

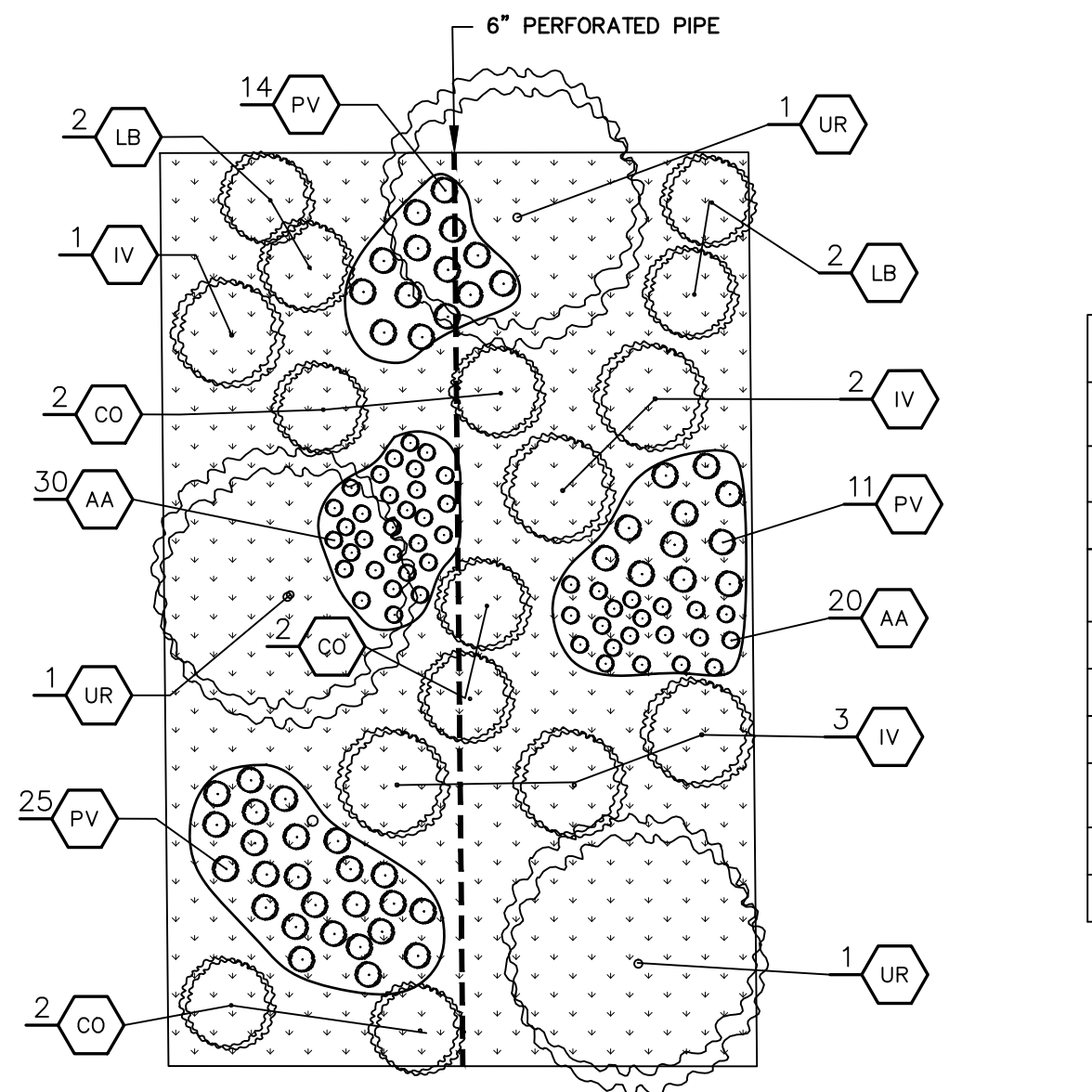
**1 INLET PROTECTION - VARIATIONS**  
C-14 SCALE: NTS

**2 COMPOST FILTER SOCK**  
C-14 SCALE: NTS TO BE USED WITHIN THE NYS DOT R.O.W.

**3 DETENTION BASIN BERM SECTION**  
C-14 SCALE: NTS



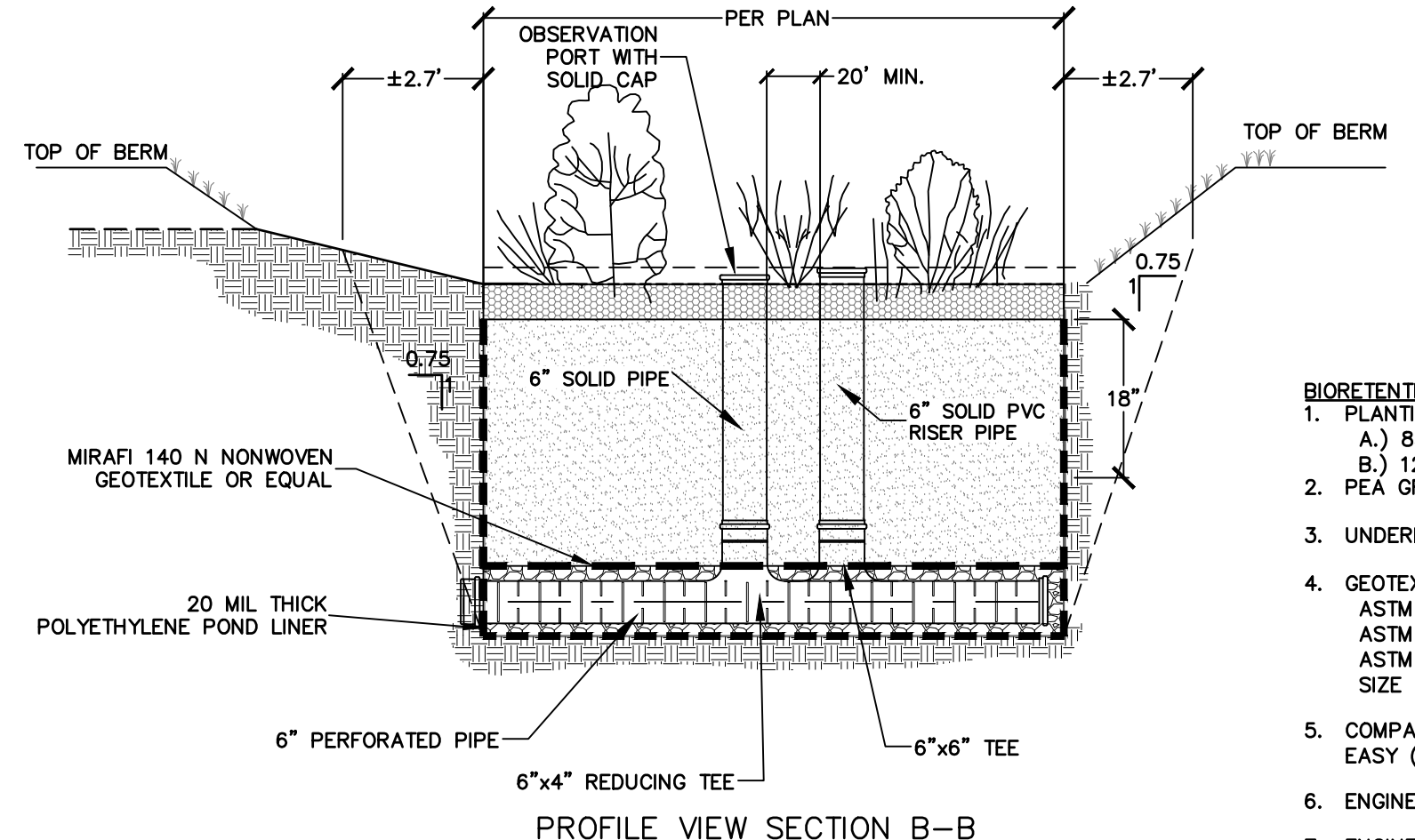
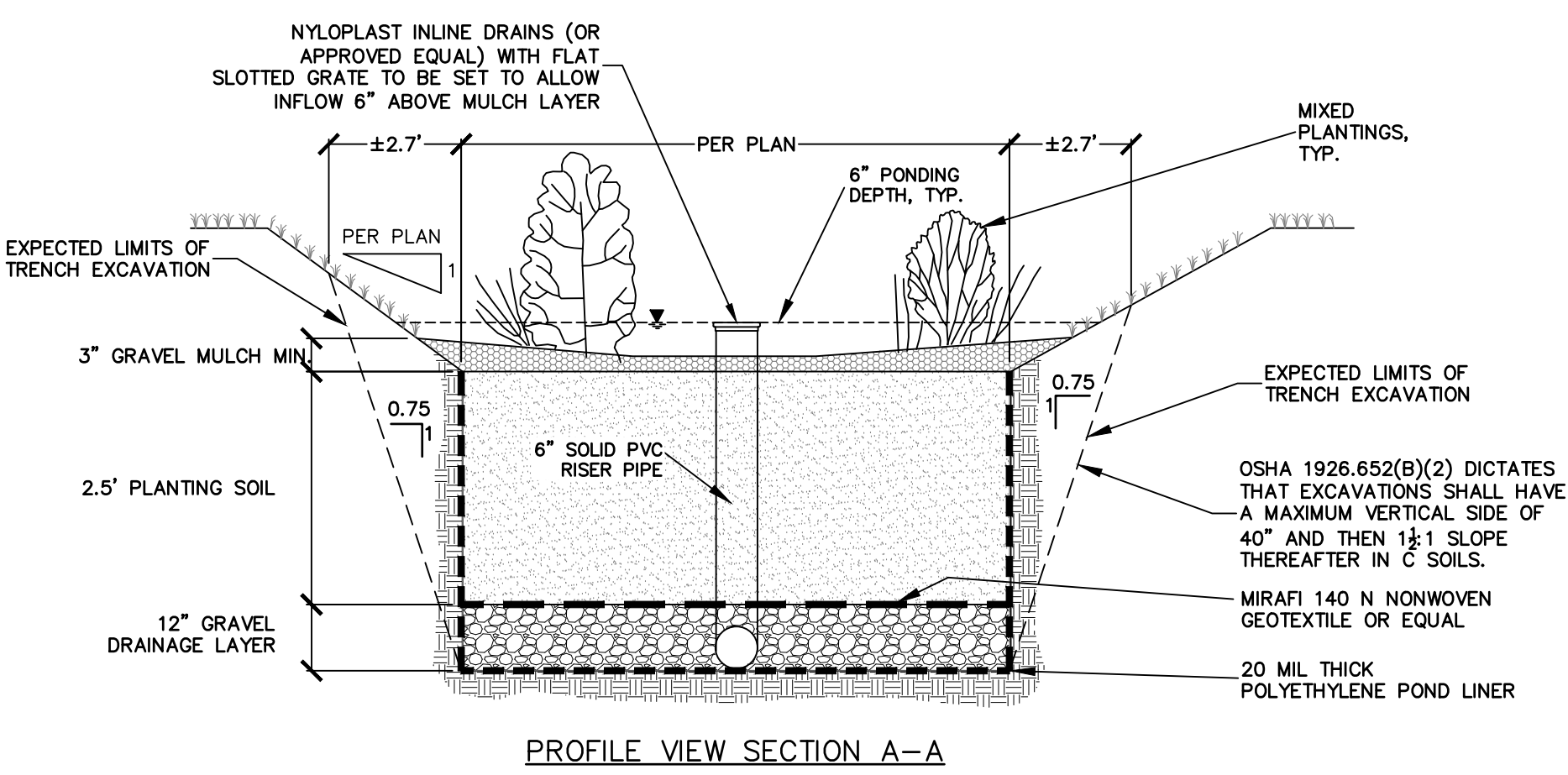
**4 PRECAST CONCRETE OUTLET STRUCTURE**  
C-14 SCALE: NTS



BIORETENTION AREA #1 (±7,550 SF) - LANDSCAPE TABLE					
KEY	QUANTITY*	LATIN NAME	COMMON NAME	CALIPER	HEIGHT
<b>TREES</b>					
UR	10	ULMUS RUBRA	SLIPPERY ELM	6'-8'	B&B
<b>SHRUBS</b>					
LB	50	LINDERA BENZOIN	COMMON SPICE	18"-24"	B&B
IV	60	ILEX VERTICILLATA	WINTER BERRY	2'-3'	B&B
CO	60	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	18"-24"	B&B
<b>HERBACEOUS PLANTS</b>					
PV	50	PANICUM VIRGATUM	SWITCH GRASS		
AA	50	AGROSTIS ALBA	REDFTOP		

\*PLANTING QUANTITIES SHOWN IN THE GRAPHIC ABOVE ARE FOR A TYPICAL 1,000 SF BIORETENTION AREA. SPECIFIC QUANTITIES FOR THE BIORETENTION AREA ARE PROVIDED IN THE CORRESPONDING LANDSCAPING TABLE.

**5 BIORETENTION FILTER SPECIES**  
C-14 SCALE: NTS



- BIORETENTION NOTES:**
1. PLANTING SOIL MEDIA SHALL BE:
    - A) 85% TO 88% COARSE TO MEDIUM SAND
    - B) 12%-15% LEAF COMPOST OR TOPSOIL
  2. PEA GRAVEL MULCH CONFORMING TO ASTM D 448 No. 6.
  3. UNDERDRAIN GRAVEL TO BE AASHTO M-43 No. 67, 0.25" TO 0.75".
  4. GEOTEXTILE FILTER FABRIC (SEPARATION LAYER):
    - ASTM D-751 (PUNCTURE STRENGTH - 125 LB)
    - ASTM D-1117 (MULLEN BURST STRENGTH - 400 PSI)
    - ASTM D-1682 (TENSILE STRENGTH - 300 LB)
    - SIZE - 0.08" THICK; EQUIVALENT OPENING SIZE OF #80 SIEVE
  5. COMPACT WITH WATER-FILLED HAND ROLLER. COMPACTION TO BE FIRM BUT EASY (UTILIZE PENCIL TEST).
  6. ENGINEER TO TEST IN PLACE COMPACTION AND INFILTRATION OF PLANTING SOIL.
  7. ENGINEER TO PERFORM INSPECTION OF BIORETENTION PLANTING SOIL IMMEDIATELY FOLLOWING PLACEMENT AND PERFORM AN IN PLACE PERCOLATION TEST TO CONFIRM THAT THE IN PLACE MATERIAL PERCOLATES AT A RATE FASTER THAN 10 MIN/INCH.

**6 BIORETENTION FILTER CROSS SECTIONS**  
C-14 SCALE: NTS

PROJECT TITLE: **PROPOSED GROCERY STORE**  
**547 E GENESEE ST (ROUTE 5)**  
VILLAGE OF FAYETTEVILLE ONONDAGA COUNTY, NY  
PREPARED FOR: **NORTHWOOD REAL ESTATE VENTURES, LLC.**  
25 PARCE AVENUE, SUITE 155  
FAIRPORT, NY 14450

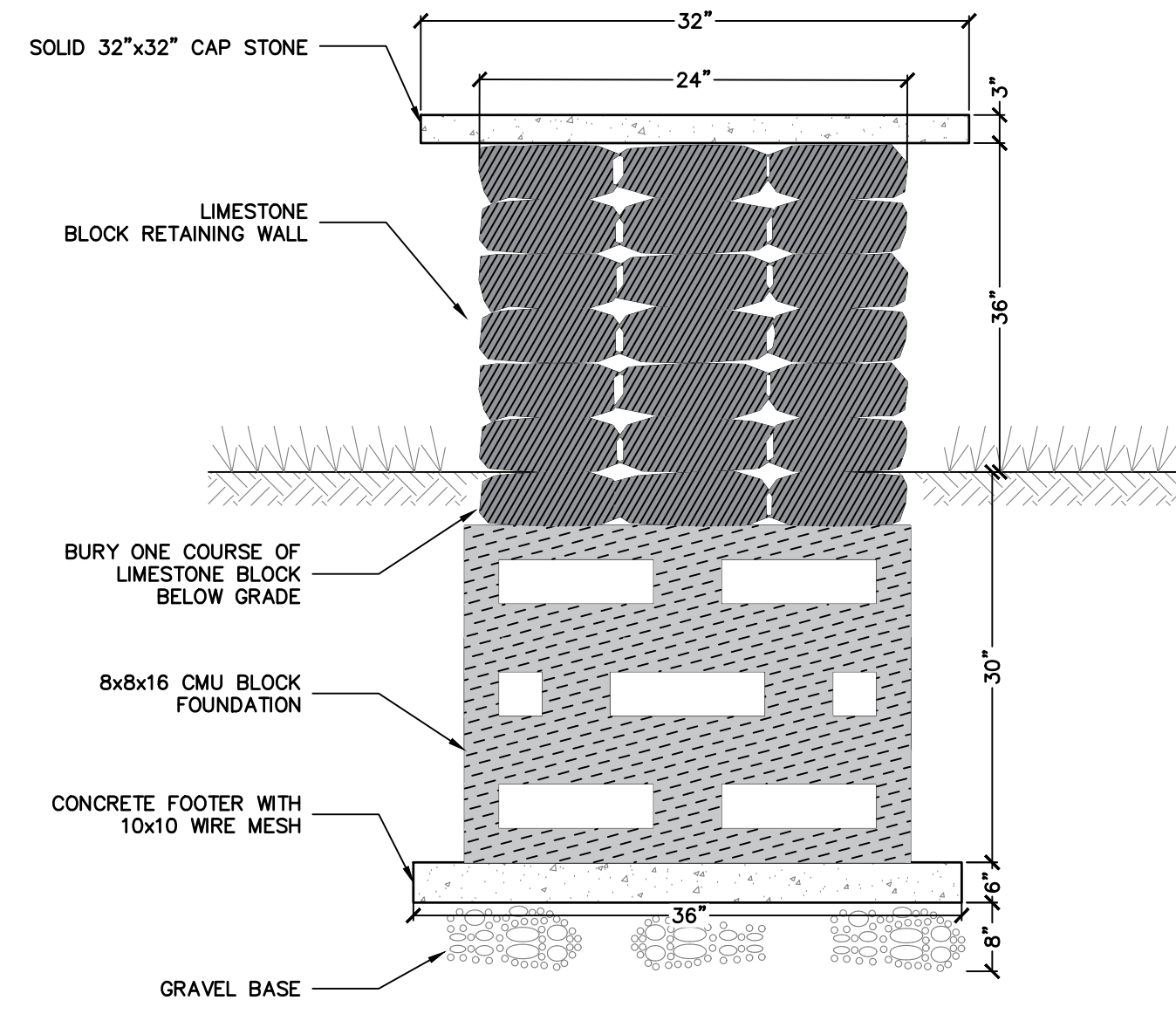
SHEET TITLE: **SITE DETAILS**

NO.	REVISION/ISSUE	DATE
6	ISSUED FOR PLANNING BOARD APPROVAL	11/22/22
5	ISSUED FOR PLANNING BOARD APPROVAL	10/31/22
4	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	8/15/2022
3	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	7/05/2022
2	REVISED AS PER VILLAGE ENGINEER / PLANNING BOARD COMMENTS	5/24/2022
1	REVISED AS PER PLANNING BOARD COMMENTS	3/21/2022

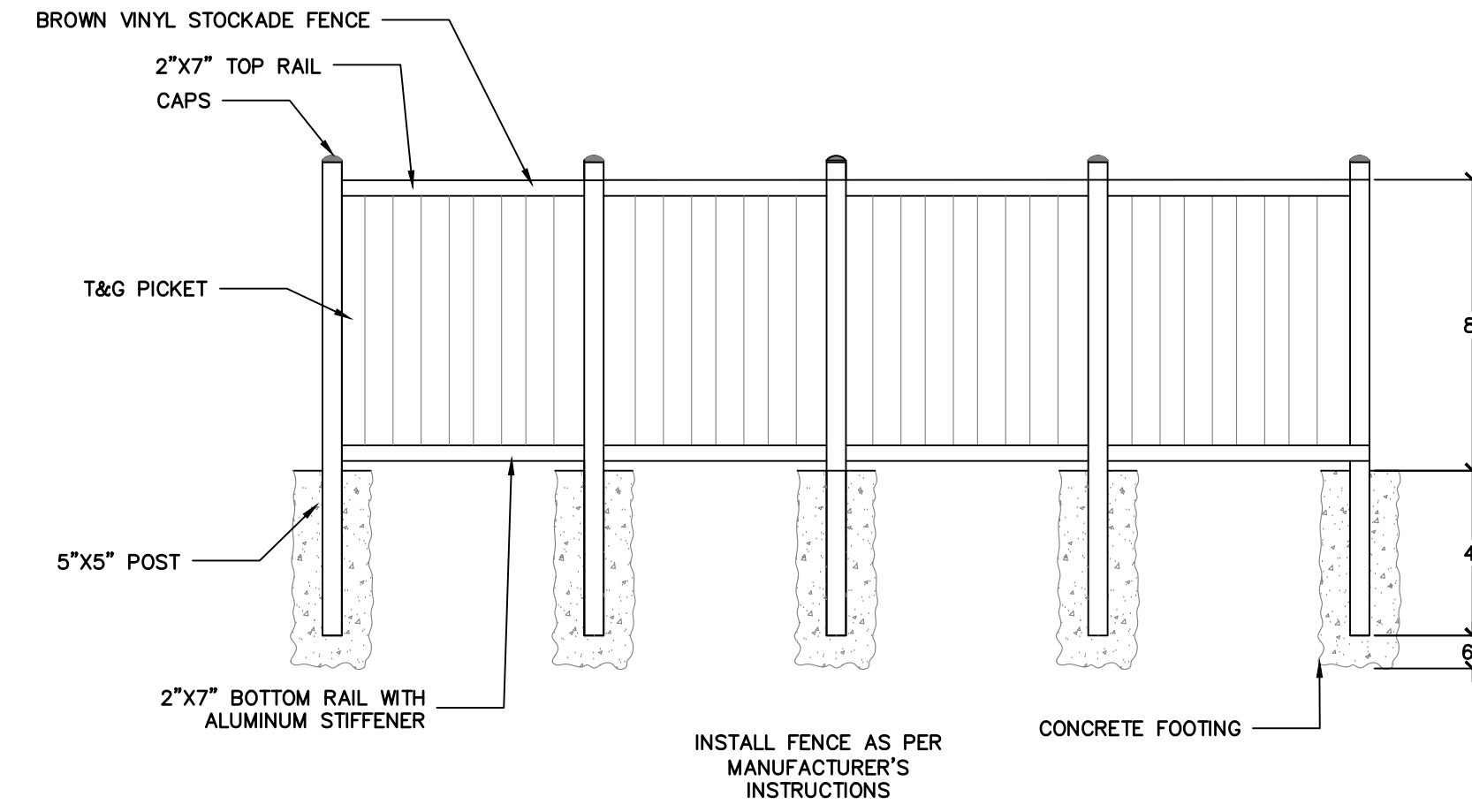
PREPARED BY: **NAPIERALA CONSULTING**  
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PROJECT NO. **19-1826**  
DATE **24 JAN 2022**  
SCALE **NTS**  
SHEET **C-14**

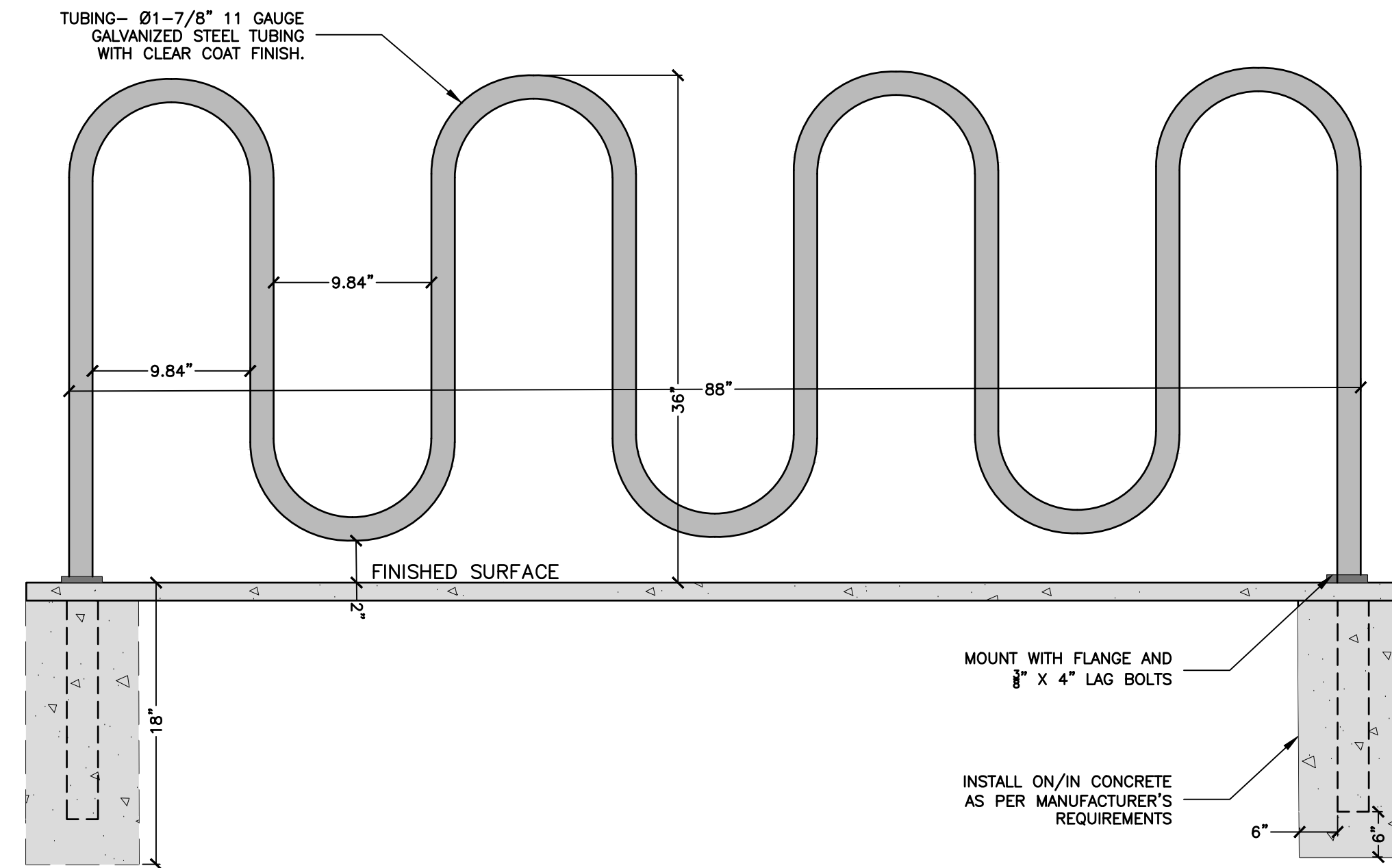
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1 ARCHITECTURAL COLUMN  
C-15 SCALE: NTS



2 8' VINYL SCREENING FENCE  
C-15 SCALE: NTS



3 TYPICAL BIKE RACK  
C-15 SCALE: NTS

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SITE DETAILS

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PROJECT NO. 19-1826  
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SCALE NTS

SHEET C-15

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MAY 15, 2022  
NY'S REGISTRATION # 06713