

LETTER OF TRANSMITTAL



ENGINEERS AND CONSTRUCTORS

**45 Hendrix Road
West Henrietta, New York 14586
Phone: 585-359-7540 Fax: 585-359-7541**

TO Village of Fayetteville
425 E Genesee Street
Fayetteville, New York 13066

DATE	10/24/22	JOB NO.	72220023
ATTENTION	Karen Shepardson		
REFERENCE	Splash Car Wash		
	129 Genesee Street		

Mail Deliver Pick-up Fax Overnight

WE ARE SENDING YOU Attached Under Separate Cover

Prints Reductions Specifications Shop Drawings

Correspondence Change Order Other _____

COPIES	DATE	DWG. NO.	DESCRIPTION	LAST REV.
1	10/24/22	72220023	Revised Plan Set per PB comments and discussions (Full Size)	9/29/22
7	10/24/22	72220023	Revised Plan Set per PB comments and discussions (Half Size)	9/29/22
1	10/24/22	72220023	Special Use Permit	10/24/22
1	10/24/22	72220023	Floodplain Application	10/24/22
2	10/24/22	72220023	SWPPP Report	10/24/22
7	10/24/22	72220023	Village Style Light Cutsheet	10/24/22
7	10/24/22	72220023	Draft Watermain Easement (Map and Legal Description)	10/24/22

THESE ARE BEING TRANSMITTED (AS CHECKED BELOW):

For Approval For Your Use For Approval Signature Returned

For Review and Comment As Requested Other _____

COPY TO _____

SIGNED Garrett Steiner
gsteiner@ddscompanies.com
585-340-0537

FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

This form is to be filled out in duplicate.

SECTION 1: GENERAL PROVISIONS (APPLICANT to read and sign):

1. No work may start until a permit is issued.
2. The permit may be revoked if any false statements are made herein.
3. If revoked, all work must cease until permit is re-issued.
4. Development shall not be used or occupied until a Certificate of Compliance is issued.
5. The permit is invalid if no work is commenced within six months of issuance, and expires 2 years from date of issuance.
6. Applicant is hereby informed that other permits may be required to fulfill local, state and federal regulatory requirements.
7. Applicant hereby gives consent to the Local Administrator or his/her representative to make reasonable inspections required to verify compliance.
8. I, THE APPLICANT, CERTIFY THAT ALL STATEMENTS HEREIN AND IN ATTACHMENTS TO THIS APPLICATION ARE, TO THE BEST OF MY KNOWLEDGE, TRUE AND ACCURATE.

(APPLICANT'S SIGNATURE) _____

DATE 10/24/22

SECTION 2: PROPOSED DEVELOPMENT (To be completed by APPLICANT)

NAME	ADDRESS	TELEPHONE
APPLICANT		
Splash Car Wash, Inc.	472 Wheelers Farm Rd Milford, CT 06461	
BUILDER		
LeChase Construction Service, LLC	205 Indigo Creek Dr, Rochester, NY 14626	
ENGINEER		
DDS Engineering and Surveying, LLP	45 Hendrix Rd, West Henrietta, NY 14586; Cade Krueger	

PROJECT LOCATION:

To avoid delay in processing the application, please provide enough information to easily identify the project location. Provide the street address, lot number or legal description (attach) and, outside urban areas, the distance to the nearest intersecting road or well-known landmark. A map attached to this application, and a sketch showing the project layout would be helpful.

129 West Genesee Street, Fayetteville, NY 13066

Tax Map Number: 018-06-09.1, 018-06-08.0, 018-06-07.1, 018-06-07.2

The project Site Location is at the corner of Highbridge Street and West Genesee Street

DESCRIPTION OF WORK (Check all applicable boxes):

A. STRUCTURAL DEVELOPMENT

<u>ACTIVITY</u>	<u>STRUCTURE TYPE</u>
<input type="checkbox"/> New Structure	<input type="checkbox"/> Residential (1-4 Family)
<input type="checkbox"/> Addition	<input type="checkbox"/> Residential (More than 4 Family)
<input type="checkbox"/> Alteration	<input type="checkbox"/> Non-residential (Floodproofing? <input type="checkbox"/> Yes)
<input type="checkbox"/> Relocation	<input type="checkbox"/> Combined Use (Residential & Commercial)
<input type="checkbox"/> Demolition	<input type="checkbox"/> Manufactured (Mobile) Home
<input type="checkbox"/> Replacement	(In Manufactured Home Park? <input type="checkbox"/> Yes <input type="checkbox"/> No)

ESTIMATED COST OF PROJECT \$ 2,000,000

B. OTHER DEVELOPMENT ACTIVITIES:

- Fill Mining Drilling Grading
 Excavation (Except for Structural Development Checked Above)
 Watercourse Alteration (Including Dredging and Channel Modifications)
 Drainage Improvements (Including Culvert Work), Stormwater Control Structures or Ponds
 Road, Street or Bridge Construction
 Subdivision (New or Expansion)
 Individual Water or Sewer System
 Other (Please Specify) _____

After completing SECTION 2, APPLICANT should submit form to Local Administrator for review.

SECTION 3: FLOODPLAIN DETERMINATION (To be completed by LOCAL ADMINISTRATOR)

The proposed development is located on FIRM Panel No. _____, Dated _____.

The Proposed Development:

- The proposed development is reasonably safe from flooding. Entire property is in Zone B, C or X.
 The proposed development is in adjacent to a flood prone area.
 100-Year flood elevation at the site is:
 _____ Ft. NGVD 1929/ NAVD 1988 (MSL)
 Unavailable
 See Section 4 for additional instructions for development that is or may be in a flood prone area.

SIGNED _____ DATE _____

APPEALS: Appealed to Board of Appeals? Yes No
Hearing date: _____
Appeals Board Decision --- Approved? Yes No

Conditions: _____

SECTION 6: AS-BUILT ELEVATIONS (To be submitted by APPLICANT before Certificate of Compliance is issued)

The following information must be provided for project structures. This section must be completed by a registered professional engineer or a licensed land surveyor (or attach a certification to this application). Complete 1 or 2 below.

1. Actual (As-Built) Elevation of the top of the lowest floor, including basement (in Coastal High Hazard Areas, bottom of lowest structural member of the lowest floor, excluding piling and columns) is: _____ FT. NGVD 1929/
 NAVD 1988 (MSL). **Attach Elevation Certificate FEMA Form 81-31**
2. Actual (As-Built) Elevation of floodproofing protection is _____ FT. NGVD 1929/ NAVD 1988 (MSL).
Attach Floodproofing Certificate FEMA Form 81-65

NOTE: Any work performed prior to submittal of the above information is at the risk of the Applicant.

SECTION 7: COMPLIANCE ACTION (To be completed by LOCAL ADMINISTRATOR)

The **LOCAL ADMINISTRATOR** will complete this section as applicable based on inspection of the project to ensure compliance with the community's local law for flood damage prevention.

INSPECTIONS: DATE _____	BY _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
DATE _____	BY _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
DATE _____	BY _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO

SECTION 8: CERTIFICATE OF COMPLIANCE (To be completed by LOCAL ADMINISTRATOR)

Certificate of Compliance issued: DATE: _____

BY: _____



Village of Fayetteville
Planning Board

425 Genesee Street East
Fayetteville, New York 13066

Jane Rice, Planning Board Chairperson
Telephone: (315) 637-9864
Fax: (315) 637-0106

§ 187-41 Special permits.

A. Applications.

(1) An application for a special permit shall be made to the Planning Board and shall be accompanied by three sets of preliminary plans and other descriptive matter to portray clearly the intentions of the applicant. These documents shall become a part of the record. Such plans shall show location of all buildings, parking, access and circulation, open space, landscaping and other information necessary to determine if the proposed special use meets the requirements of this chapter.

(2) The structure and uses authorized by special permit shall conform to all of the regulations of the district in which they are located and to any particular regulations which apply to them under other provisions of this chapter.

(3) No special permit use shall be approved unless the following findings are made:

(a) Applicable district regulations and other general and special controls contained in this chapter are complied with.

(b) There will be no adverse impact upon the neighborhood environment, character or integrity of any land use within the immediate vicinity.

(c) The development will be in harmony with the visual and physical environment and not in conflict with any Master Plan or Comprehensive Plan for the Village of Fayetteville.

(d) Adequately designed open space, drainage facilities, landscaping and other features considered appropriate to the function of the development shall be provided.

(e) Traffic controls for vehicular and pedestrian movement are designed to protect the safety of the general public and the occupants, employees, attendants and other persons for whose benefit the use is intended. In making this determination, the Planning Board shall review, but need not be limited to, the following considerations:

[1] Location and adequacy of parking and loading facilities.

[2] Pedestrian rights-of-way.

[3] Traffic regulatory devices.

[4] Location, number and design of points of ingress.

[5] Accessibility to emergency vehicles, with particular emphasis on proximity to structures, no-parking or -loading zones or areas and provision for turning and free movement.

[6] The proposed use will be provided with adequate supporting services, such as fire and police protection, public and private utilities and all other supporting governmental services necessary and appropriate to the proposed use.

(4) A public hearing shall be held by the Planning Board with respect to all permit applications. Action by the Planning Board shall be completed within 60 days from the closing of the public hearing. The special permit application may be approved, conditionally approved or disapproved. The decision will be forwarded to the Codes Enforcement Officer with a copy to the applicant. Following approval or conditional approval, the Codes Enforcement Officer shall issue a building permit if required, and if the project conforms to all other applicable requirements.

[Amended 3-28-1988 by L.L. No. 3-1988; 3-22-1993 by L.L. No. 5-1993]

B. Criteria.

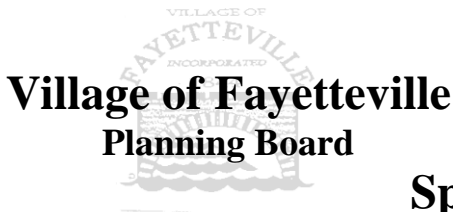
(1) In making a determination as to the compliance with any one or more of the findings and conditions specified in this section, consideration shall be given, but need not be limited, to the following elements:

(a) Geometric characteristics of all structures and related improvements.

(b) Aesthetic characteristics, including design, texture, materials, colors and illumination.

(c) Physical attributes of the site, including size, shape, elevation, topography and natural vegetation.

(d) The Planning Board may impose such conditions on the approval of any application as in its opinion are necessary and reasonable to implement the provisions of this section.



Village of Fayetteville Planning Board

Special use Permit Application

(Please fill out the Application completely)

Date Filed: _____ Tax Map Number: _____ Zone: _____

Applicant: _____ Telephone: _____

Applicants Address: _____ Email: _____

Owner of Property: _____ Telephone: _____

Property Address: _____

Size of Parcel: _____ Width (at road frontage) _____ Depth

_____ Total Area _____ Shape

Special Use Requested: _____

Is the property located within 500 feet of: (Please check one)	YES	NO
A boundary line of the Village of Fayetteville?	()	()
An existing or proposed County, State or Highway road?	()	()
An existing or proposed County, State Park or Recreation Area?	()	()
Right of way or County owned or used stream or drainage channel?	()	()
County or State owned lands with public building?	()	()
Is the property located within a flood plain or floodway?	()	()

Current use of the property:

Description of proposed use: _____

Proposed hours of operation: Mon. _____ Tues. _____ Wed. _____ Thurs. _____
Fri. _____ Sat. _____ Sun. _____

Expected peak hours: Weekday _____ Week evening _____
Weekend day _____ Weekend evening _____

Expected parking needs: _____

Expected exterior storage: _____

Description of any interior improvements: New build; automatic carwash tunnel and mechanicals, new office,
associated utility connections

Description of drainage flows and controls: drainage to follow existing flow patterns and discharge points,
Reduction of impervious surface and overall runoff.

Full description of any exterior improvements: New build; automatic car wash tunnel and mechanicals,
composite paneling, cultured stone facade, metal standing seam roof.

Existing/ Proposed Signage: Directional signage and building mounted signage to follow village code (under separate application)

A sign application, design, site plan and or survey must be to scale showing the proposed improvement and must be attached to this application.

This original application, with required attachments, including an Environmental Assessment Form, plus ten copies must be received by this office at least 14 days prior to the Planning Board meeting in order to assure a position on the agenda.

***ATTENTION APPLICANTS: YOU OR PERSON(S) ACTING ON YOUR BEHALF MUST ATTEND THE SCHEDULED PUBLIC HEARING IN ORDER FOR YOUR APPLICATION TO BE REVIEWED.**

Signature of property owner: _____

Date: _____

State of New York
County Yates }

JEFFERY T. ARNOLD being duly sworn, deposes and says that he/she is the person who has signed this application; that he/she is the APPLICANT, authorized by the said owner to make and file this application; that he/she has read and understands this application; that all statements contained therein are true to the best of his/her knowledge and belief; and the work will be performed in accordance with the application and the plans and specifications filed therewith.

Sworn to before me this 24th day of October, 2022
Notary Public [Signature]
County Yates

[Signature]
Signature of Applicant
MILL S.H. RIPLEY
NOTARY PUBLIC, STATE OF NEW YORK
NO. 01R16290762
QUALIFIED IN YATES COUNTY
COMMISSION EXPIRES 04-30-2024

*******OFFICIAL USE ONLY*******

Received by: _____	Date: _____	Fee: _____	PAID/ Not Paid
Code Enforcement review: _____	APPROVED _____	DENIED _____	DATE _____
Planning Board Review: _____	_____	_____	_____
Zoning Board of Appeals: _____	_____	_____	_____
Condition(s) Made Part of Approval: _____			

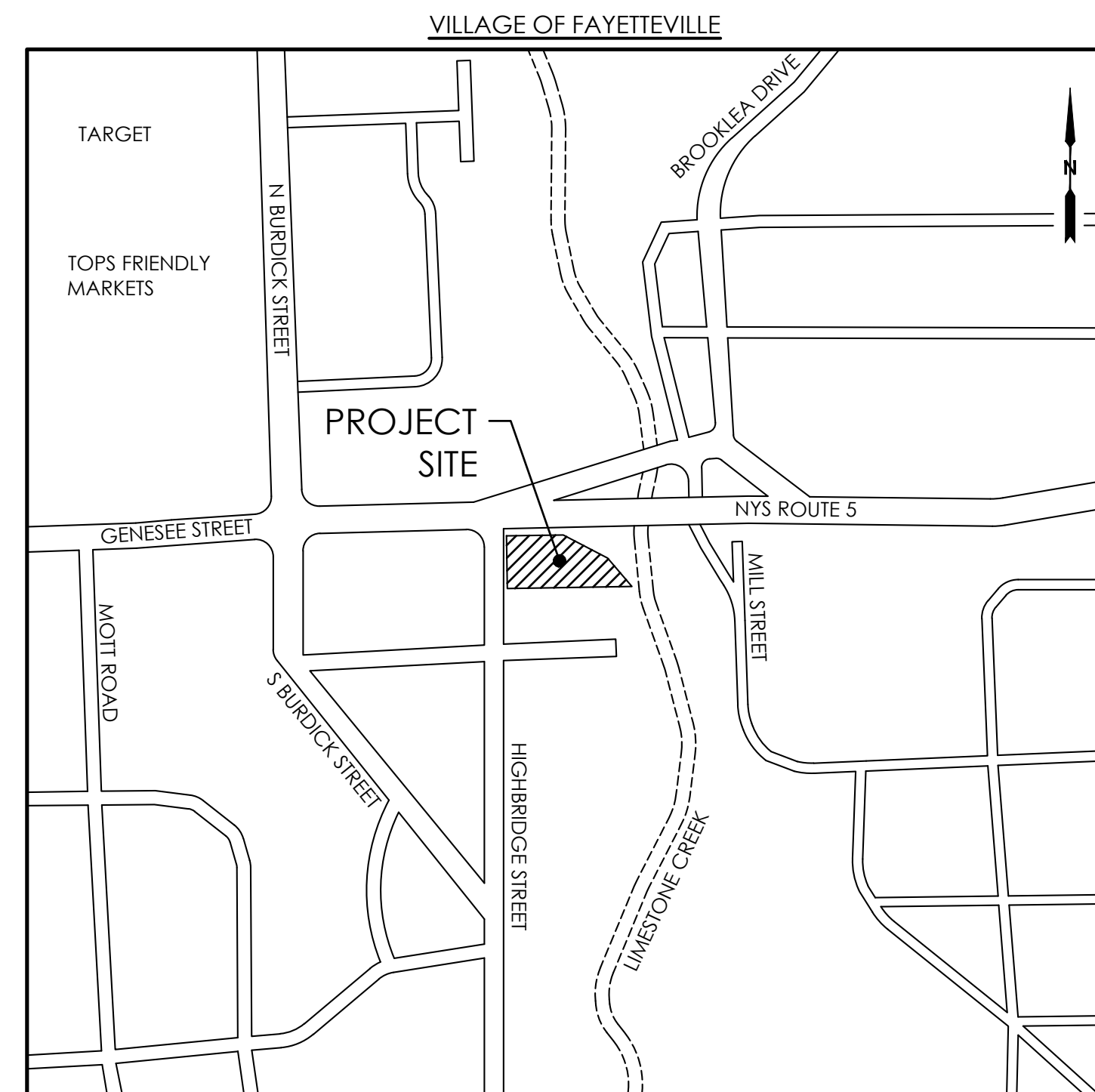
129 W GENESEE STREET SPLASH CAR WASH

SITE DEVELOPMENT

T.A.#018.-06-09.1, 018.-06-08.0,
018.-06-07.1, 018.06-07.2

VILLAGE OF FAYETTEVILLE
ONONDAGA COUNTY
STATE OF NEW YORK

TABLE OF CONTENTS	
SHEET NO.	DESCRIPTION
C0	COVER SHEET
C1	NOTES & LEGEND
C2	EXISTING FEATURES MAP
C2A	EXISTING CONDITIONS PLAN & DEMO PLAN
C3	SITE PLAN
C4	UTILITY PLAN
C5	GRADING PLAN
C6	LIGHTING PLAN
C7	LANDSCAPE PLAN
C8	CONSTRUCTION DETAILS - 1
C9	CONSTRUCTION DETAILS - 2



LOCATION MAP
NOT TO SCALE

PREPARED FOR:



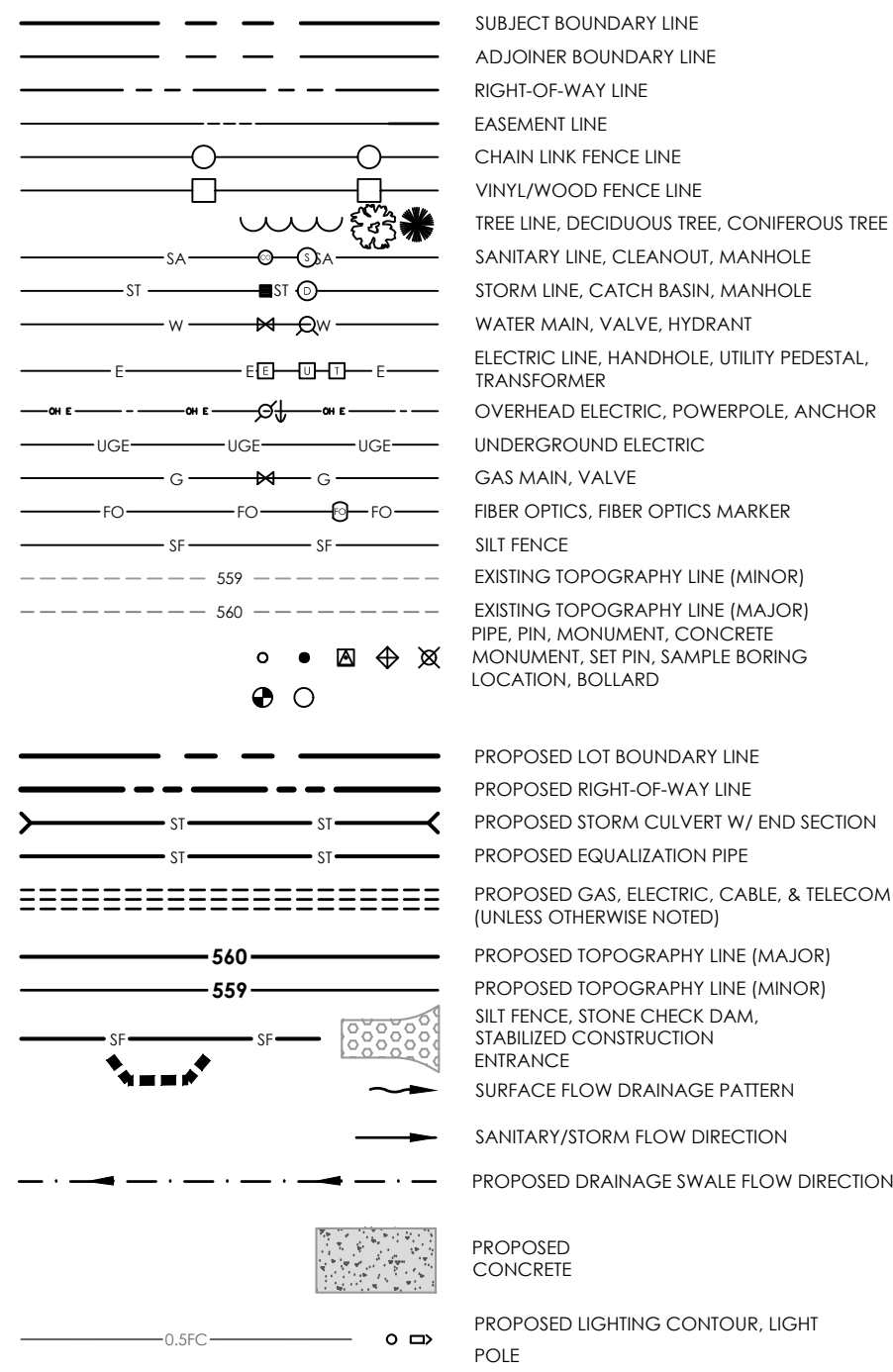
472 WHEELERS FARM RD
MILFORD, CT 06461

PREPARED BY:



45 HENDRIX ROAD
WEST HENRIETTA, NY 14586
PHONE (585) 359-7540
FAX (585) 359-7547

LEGEND



ABBREVIATIONS

- EX. EXISTING
- N/F. NOW OR FORMALLY
- TYP. TYPICAL
- W/ WITH
- Ø DIAMETER
- T.A. TAX ACCOUNT NUMBER
- P.M.L. UTILITY PAINT MARK LOCATION
- EX. PER RECORD MAPPING
- LAT. LATERAL
- SWR. SEWER
- C.O. CLEANOUT
- CB. CATCH BASIN
- M.H. MANHOLE
- F.F.E. FINISHED FLOOR ELEVATION

SITE NOTES:

- PROJECT AREA IS LOCATED IN FLOOD ZONE X AND AE AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 0244F DATED AUGUST 28, 2008.
- NO GOVERNMENT MONUMENTS ARE LOCATED WITHIN THE SCOPE OF THE DEVELOPMENT.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- GENESEE ST SHALL BE KEPT CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
- NATIVE AND EXISTING VEGETATION SHOULD BE RETAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE AND INCORPORATED INTO THE LANDSCAPE PLAN.
- DEVELOPER IS TO OBTAIN ANY APPROPRIATE STATE, COUNTY AND TOWN PERMITS PRIOR TO CONNECTING TO ANY PUBLIC UTILITIES.
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. ALL UTILITIES SHALL BE FIELD STAKED BEFORE COMMENCING WORK. CONTRACTOR IS CAUTIONED TO NOTIFY CENTRAL STAKEOUT NUMBER 1-800-962-7962 OF RELOCATION OF UNDERGROUND UTILITY LOCATION PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL SUBMIT A LANDSCAPE CERTIFICATE OF COMPLIANCE TO THE BUILDING DEPARTMENT FROM THE LANDSCAPE ARCHITECT WHO IS CERTIFYING THAT ALL OF THE APPROVED PLANTINGS HAVE BEEN FURNISHED AND INSTALLED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN.

EROSION & SEDIMENT CONTROLS

- PROCEDURES OUTLINED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MUST BE FOLLOWED THROUGHOUT THE DURATION OF CONSTRUCTION OF THIS PROJECT. THROUGHOUT CONSTRUCTION, EMPHASIS WILL BE PLACED ON PREVENTING EROSION OF THE DISTURBED AND EXPOSED SOIL WITHIN THE SITE.
- VEGETATIVE MEASURES SUCH AS JUTE MESH, SEEDING AND MULCHING WILL BE UTILIZED TO HELP PREVENT ERODING OF THE SOIL. JUTE MESH SHALL BE USED ON ALL SLOPES OF 1V:3H AND STEEPER.
- BARE SOIL WILL BE SEEDED WITHIN 14 DAYS OF EXPOSURE UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS. IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS WILL BE SEEDED OR MULCHED IMMEDIATELY.
- TEMPORARY SEEDING WILL CONSIST OF RYEGRASS PLACED AT A RATE OF 30 LBS. PER ACRE OR 0.7 LBS. PER 1,000SF. THE AREA IS TO THEN BE MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.
- TOPSOIL SHALL BE PLACED AT A DEPTH OF 6" MINIMUM.
- PERMANENT SEEDING SHALL FOLLOW THE CHART LISTED BELOW. MULCH SHALL BE SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.

GENERAL SEED MIX:

VARIETY	LBS/ACRE	LBS/1,000SF
BIRDSFOOD TREFOIL* OR COMMON WHITE CLOVER*	8 LBS	0.20 LBS
	8 LBS	0.20 LBS

PLUS

TALL FESCUE	KY-31/REBEL	20 LBS	0.45 LBS
REDTOP OR RYEGRASS (PERENNIAL)	COMMON PENNFINE/LINN	2 LBS 5 LBS	0.05 LBS 0.10 LBS

*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING

- SEDIMENT CONTROL CONCERNS ARE ADDRESSED BY USE OF PERIMETER CONTROLS SUCH AS SILT FENCE AND STONE CHECK DAMS.
- THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WHICH IS PRONE TO BLOWING FROM THE WIND WILL BE COVERED WITH A TARPULIN.

CONSTRUCTION SEQUENCE:

- EXPOSURE OF DISTURBED EARTH DURING THE MASS EARTHWORK PHASE WILL BE LESS THAN 5 ACRES. IT IS RECOMMENDED THAT THE CONTRACTOR FOLLOW THE FOLLOWING SEQUENCE OF CONSTRUCTION OPERATIONS.
- THE PROPOSED EROSION AND SEDIMENT PLAN WILL BE DISCUSSED WITH CONTRACTORS BEFORE BEGINNING ANY EARTH DISTURBING ACTIVITIES TO ENSURE THAT ALL CONTRACTORS ARE AWARE OF THE PROPER INSTALLATION OF THE E&S MEASURES AND THE NEED FOR ANY MAINTENANCE, WHICH MAY BE REQUIRED AS THE PROJECT PROGRESSES. THIS WILL BE IMPORTANT IN PROTECTING THE ADJACENT PROPERTIES TREES DURING THE CONSTRUCTION PERIOD.
- CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON PLAN PER DETAIL.
- CLEAR AND GRUB AS NECESSARY FOR SITE ACCESS AS SHOWN ON THE PLAN.
- INSTALL PERIMETER SEDIMENT CONTROLS (SILT FENCING) AT LOCATIONS SHOWN ON PLAN. IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS ACTIVITY. USE CARE TO AVOID DAMAGING TREES WHICH ARE TO REMAIN.
- PROTECT EXISTING TREES, VEGETATION, AND OTHER ENVIRONMENTAL FEATURES TO BE PRESERVED.
- CLEAR AND GRUB REMAINDER OF SITE AS SHOWN ON PLAN AND CONSTRUCT ONSITE DRAINAGE IMPROVEMENTS.
- INSTALL ALL REMAINING EROSION AND SEDIMENT CONTROLS ACCORDING TO THE PLAN.
- CONSTRUCT STAGING AREA(S) AS REQUIRED.
- THE OPERATOR AND OWNER/DEVELOPER SHALL COMPLETE AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- STRIP AND STOCKPILE TOPSOIL AS DIRECTED BY DEVELOPER. USING APPROPRIATE SILT FENCING AND/OR SEEDING TO STABILIZE STOCKPILES UPON COMPLETION OF THIS ACTIVITY. ALL SOIL STOCKPILES SHALL HAVE PERIMETER SILT FENCE INSTALLED A MIN. OF 15' FROM TOE OF SLOPE.
- WITHIN 14 DAYS OF EXPOSURE, STABILIZE ALL DISTURBED AREAS, WHICH WILL REMAIN INACTIVE FOR 21 DAYS OR MORE.
- INSTALL STORMWATER MANAGEMENT FACILITIES AS REQUIRED AND ACCORDING TO THE PLAN.
- INSTALL DRAINAGE SWALES AND DRIVEWAY STONE BASE.
- PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SITE UTILITY AND GRADING PLAN.
- COMPLETE FINAL SITE GRADING, REAPPLY TOPSOIL (MINIMUM 6" THICKNESS), INSTALL PERMANENT SEEDING, FERTILIZER, AND MULCH.
- UPON PERMANENT STABILIZATION OF INDIVIDUAL PORTIONS OF THE SITE, REMOVE INDIVIDUAL TEMPORARY SEDIMENTATION CONTROL MEASURES AS APPROPRIATE. SEDIMENT CONTROL MEASURES NOT TO BE REMOVED UNTIL APPROVAL HAS BEEN OBTAINED FROM THE VILLAGE OF FAYETTEVILLE CODE ENFORCEMENT OFFICER OR THE TOWN ENGINEER.



45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541



SPLASH CAR WASH, INC
472 WHEELERS FARM RD
MILFORD, CT 06461
(585) 303 - 9448



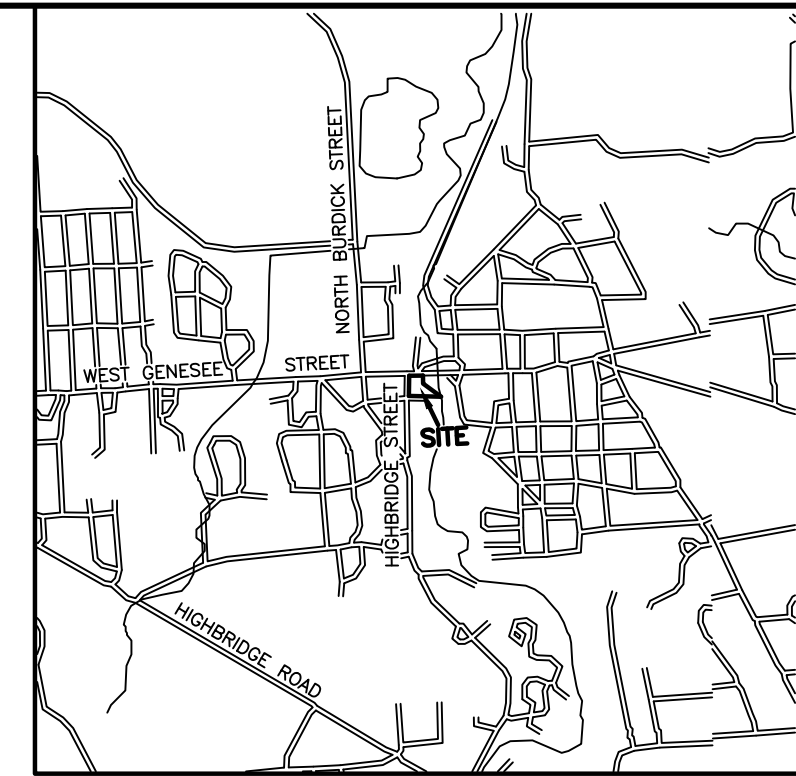
REV	DESCRIPTION	DATE
01	REVISED PER VILLAGE PB, NYSDOT, & TOWN ENGINEER COMMENTS	8-29-22
02	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	9-29-22
03	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	10-24-22

THESE DOCUMENTS INCLUDING ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR PRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL ENGINEER. NO PARTS OF THESE DOCUMENTS SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE SPECIFIC WRITTEN PERMISSION OF DDS COMPANIES. ALL RIGHTS RESERVED. ©

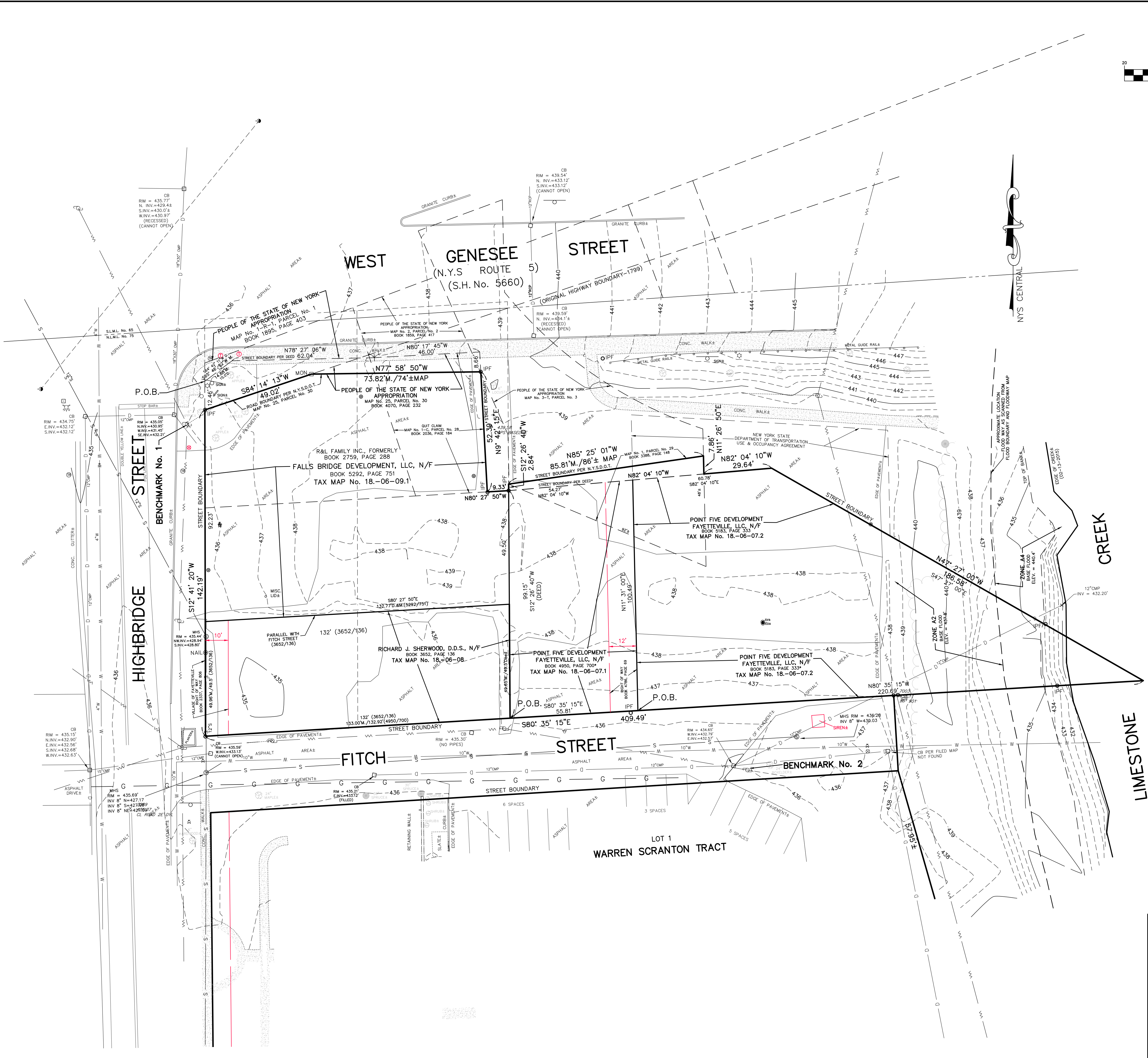
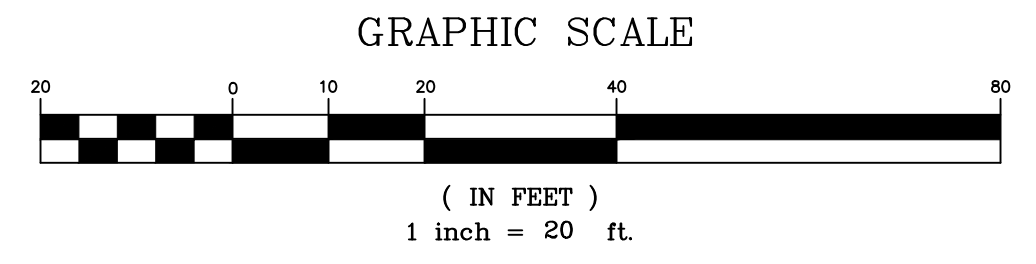
129 W GENESEE STREET
SPLASH CAR WASH
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: **NOTES AND LEGEND**

DRAWN BY: GRS | APPROVED BY: ESM | PROJ. NO: 72220023
CHECKED BY: CAK | DATE: 6-24-22 | PAGE SIZE: ANSI D



LOCATION PLAN
Scale: 1" = 2000'



BENCHMARKS:

- BENCHMARK NO. 1 - RR SPIKE IN UTILITY POLE
ELEVATION = 436.86 FEET
- BENCHMARK NO. 2 - RR SPIKE IN UTILITY POLE
ELEVATION = 437.35 FEET

NOTES:

Total area: 1.609± acres
 Present Zone: CB Contemporary Business District
 Elevations referred to NGVD 29
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.
 The premises shown hereon is within Zones "A2 & A5" (Areas of 100-year flood; base flood elevation shown on map) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 360578 0001 C, revised date: April 17, 1985. Tax Map Nos. 18-06-06.1, 07.1, 07.2, 08 & 09.1

LEGEND:

- - - - - indicates original grade
- ☆ LS indicates light stand
- - - - - indicates utility pole, anchor & overhead lines
- IPF indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- - - - - indicates storm culvert
- 6" G — indicates gas main, gas valve & gas line marker
- 8" W — indicates water main, water valve & hydrant
- 18" S — indicates storm sewer, catch basin & manhole
- 8" S — indicates sanitary sewer, sewer vent & manhole
- TEL — indicates underground telephone line, manhole & box
- UE — indicates underground electric line & manhole
- CATV — indicates underground television cable & box
- MGN — indicates monument to be set
- indicates 6" diameter bollard (typical)
- ⊙ indicates 6" diameter monitoring well (typical)
- ⊙ indicates grease trap manhole
- ⊙ indicates manhole

ABSTRACTS

- Salina Abstract and Title Agency, Inc.
No. 65450-T; Dated: December 12, 2007
- Salina Abstract and Title Agency, Inc.
No. 72868-T; Dated: December 5, 2011
- Salina Abstract and Title Agency, Inc.
No. 73118-T; Dated: August 18, 2014
- Salina Abstract and Title Agency, Inc.
No. 65450-T; Dated: December 7, 2007

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

REVISIONS INVERTS JUNE 30, 2015 DATUM SEPTEMBER 14, 2015 ADD'L TOPO FEBRUARY 12, 2016 LOC MONITOR WELLS MARCH 18, 2016 ADD'L TOPO NOVEMBER 14, 2016 REF: 13154.003 MARCH 27, 2017 APRIL 20, 2022		SITE PLAN - EXISTING FEATURES TOPOGRAPHIC SURVEY PART OF LOT Nos. 38 & 39 BLOCK No. 41 VILLAGE OF FAYETTEVILLE PART OF LOT No. 75 TOWN OF MANLIUS ONONDAGA COUNTY, NEW YORK	
IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251			



SPLASH CAR WASH, INC
472 WHEELERS FARM RD
MILFORD, CT 06461
(585) 303-9448



REV	DESCRIPTION	DATE
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02	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	9-29-22
03	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	10-24-22

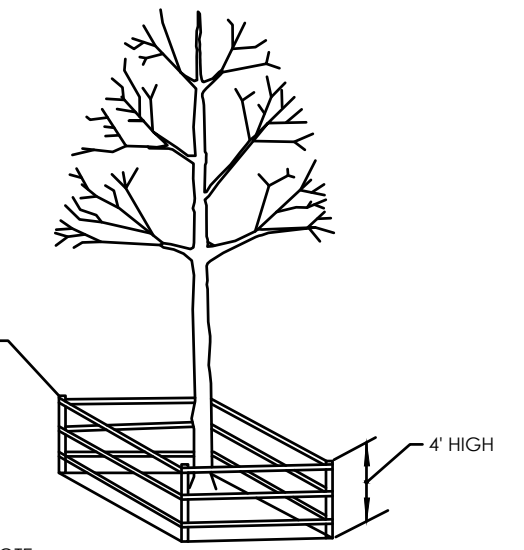
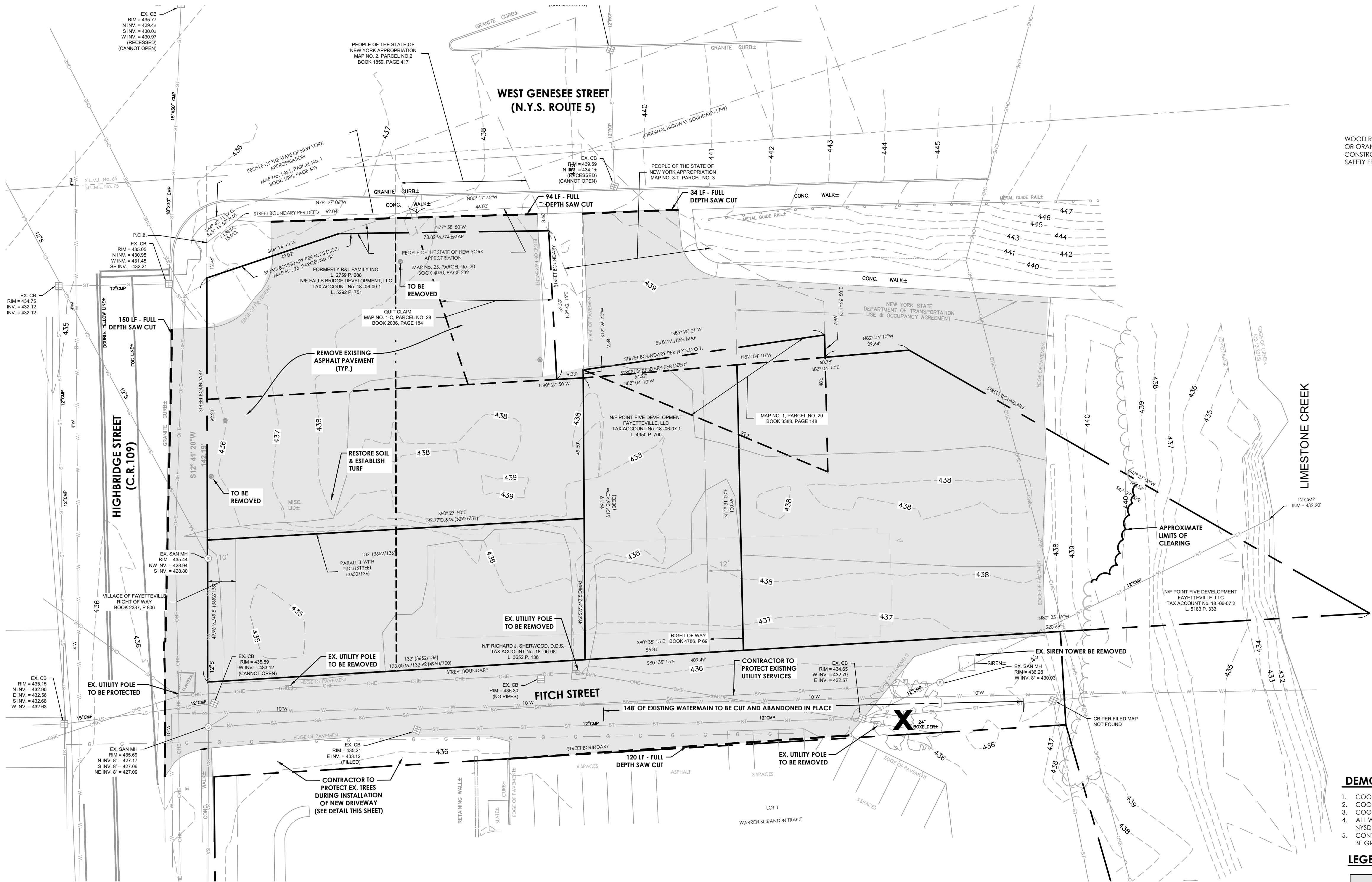
**129 W GENESEE STREET
SPLASH CAR WASH**
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE:
EXISTING CONDITIONS AND DEMOLITION PLAN

PROJ. NO.: 72220023
ANSI D

APPROVED BY: ESM
DRAWN BY: GRS
CHECKED BY: CAK

DATE: 6-24-22
PAGE SIZE: 11x17



- NOTE:
1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN, ARE TO RECEIVE THIS TREATMENT.
 2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.
 3. MATERIALS & EQUIPMENT STORAGE IS NOT ALLOWED IN FENCED AREAS.
 4. EXISTING PLANTS TO REMAIN, OR DIRECTLY ADJACENT TO, THE WORK AREA SHALL BE PROTECTED DURING CONSTRUCTION. ANY PLANTS INDICATED TO REMAIN THAT ARE DAMAGED TO CONSTRUCTION OPERATIONS ARE TO BE REPLACED IN KIND.

TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6'
10"-14"	10'
15"-19"	12'
20" OR MORE	15'

FENCING SHOULD BE PLACED AT TREE DRIP LINE OR DISTANCE GREATER

TREE PROTECTION ZONE FENCING
N.T.S.

DEMOLITION NOTES:

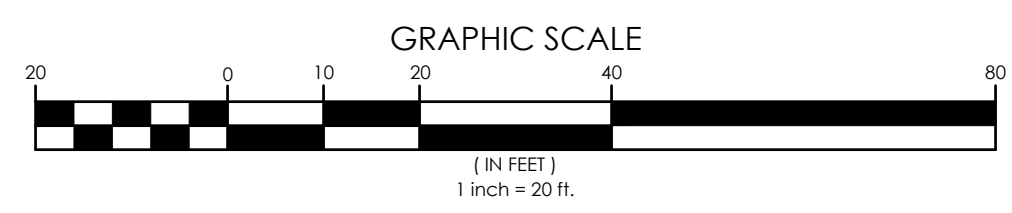
1. COORDINATE ALL WATERLINE REMOVALS WITH OCWA
2. COORDINATE ALL SEWER REMOVALS WITH OCWP
3. COORDINATE ALL POWER REMOVALS WITH NATIONAL GRID
4. ALL WORK WITHIN THE RIGHT OF WAY REQUIRES A PERMIT FROM NYSDOT AND OCCDOT
5. CONTRACTOR TO RESTORE SOIL AND ESTABLISH TURF IN ALL AREAS TO BE GRASS LAWN / LANDSCAPED. SEE SITE PLAN.

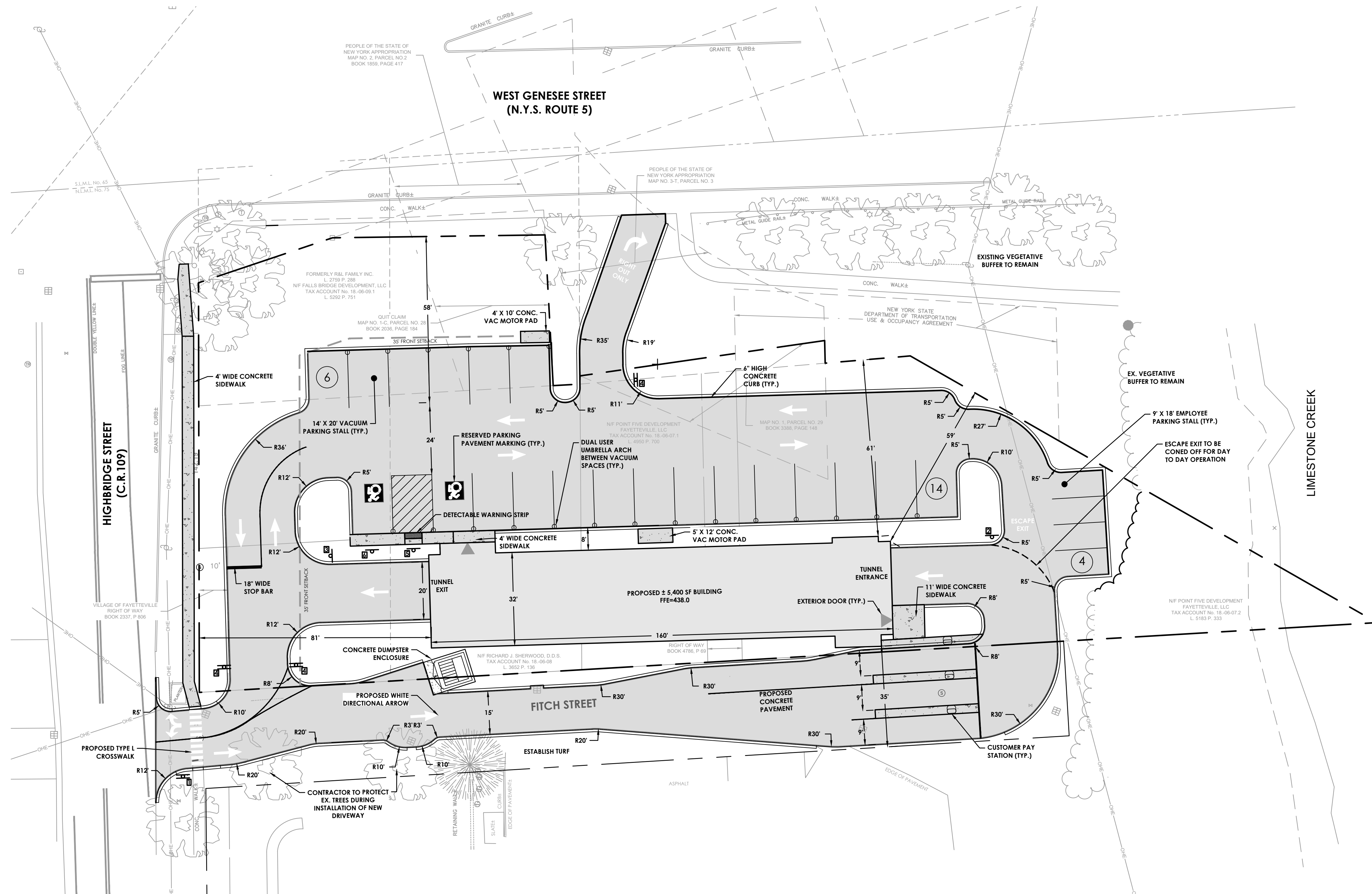
LEGEND

- REMOVE ASPHALT PAVEMENT
- PROPOSED FULL DEPTH SAWCUT
- CLEAR AND GRUB EXISTING TREE

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SITE DATA:

OWNER: SPLASH CAR WASH
 PROJECT LOCATION: 129 W GENESEE ST, FAYETTEVILLE, NY 13066
 ACCOUNT #: 018.0-06-9.001
 TOTAL AREA: 1.14 ACRES ±
 ZONING: CONTEMPORARY BUSINESS (CB)

PARKING REQUIREMENTS:

ZONING: CONTEMPORARY BUSINESS (CB)	CODE	PROPOSED
MIN. PARKING SPACE SIZE	9'X18'	9'X18', 14'X20'
SPACES:		4 EMPLOYEE 20 VACUUM 24 TOTAL

ZONING REQUIREMENTS

ZONING: CONTEMPORARY BUSINESS (CB)	REQUIRED	PROPOSED
FRONT SETBACK	35'	61'
SIDE SETBACK	10'	35'
REAR SETBACK	35'	59'
MAX. BUILDING HEIGHT	35'	35'
MAX LOT COVERAGE (BUILDING)	35%	11%

AREA TABLE

APPROXIMATE AREA OF DISTURBANCE	1.17 AC
EXISTING IMPERVIOUS SURFACE	1.11 AC
PROPOSED IMPERVIOUS SURFACE	0.75 AC
PERCENT REDUCTION	32%
PERCENT GREENSPACE	34%

SIGN CALLOUT SCHEDULE

1	CAR WASH ENTER DOUBLE SIDED
2	DO NOT ENTER
3	EXIT LEFT VACUUM RIGHT
4	CAR WASH EXIT DOUBLE SIDED
5	ACCESSIBLE LOADING AREA NO PARKING
6	RESERVED PARKING

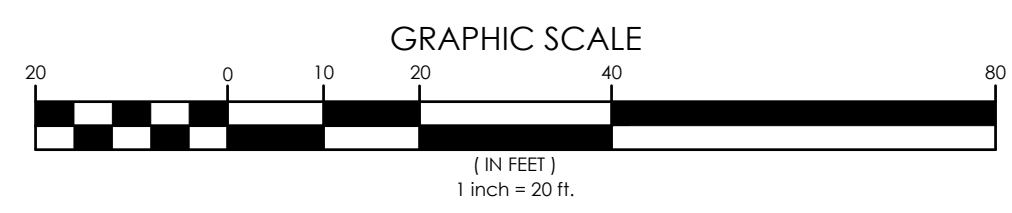
- NOTES:**
- CONCRETE CURB TO BE USED THROUGHOUT SITE.
 - PARCELS TO BE COMBINED INTO SINGLE LOT THROUGH SUBDIVISION APPLICATION.
 - FITCH STREET GRANTED TO APPLICANT BY VILLAGE OF FAYETTEVILLE BOARD OF TRUSTEES AS OF OCT. 3RD, 2022.
 - NO OUTSIDE PRE-WASH OR VEHICLE RINSING WILL OCCUR. ALL PRE-WASH WILL BE COMPLETED INSIDE THE BUILDING.
 - SIGNS ARE SINGLE SIDED UNLESS CALLED OUT AS DOUBLE SIDED

VILLAGE OF FAYETTEVILLE APPROVALS

PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF BUILDING & FIRE PREVENTION	DATE
FIRE MARSHAL	DATE
DIRECTOR OF ENGINEERING & PLANNING	DATE

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 (585) 303 - 9448



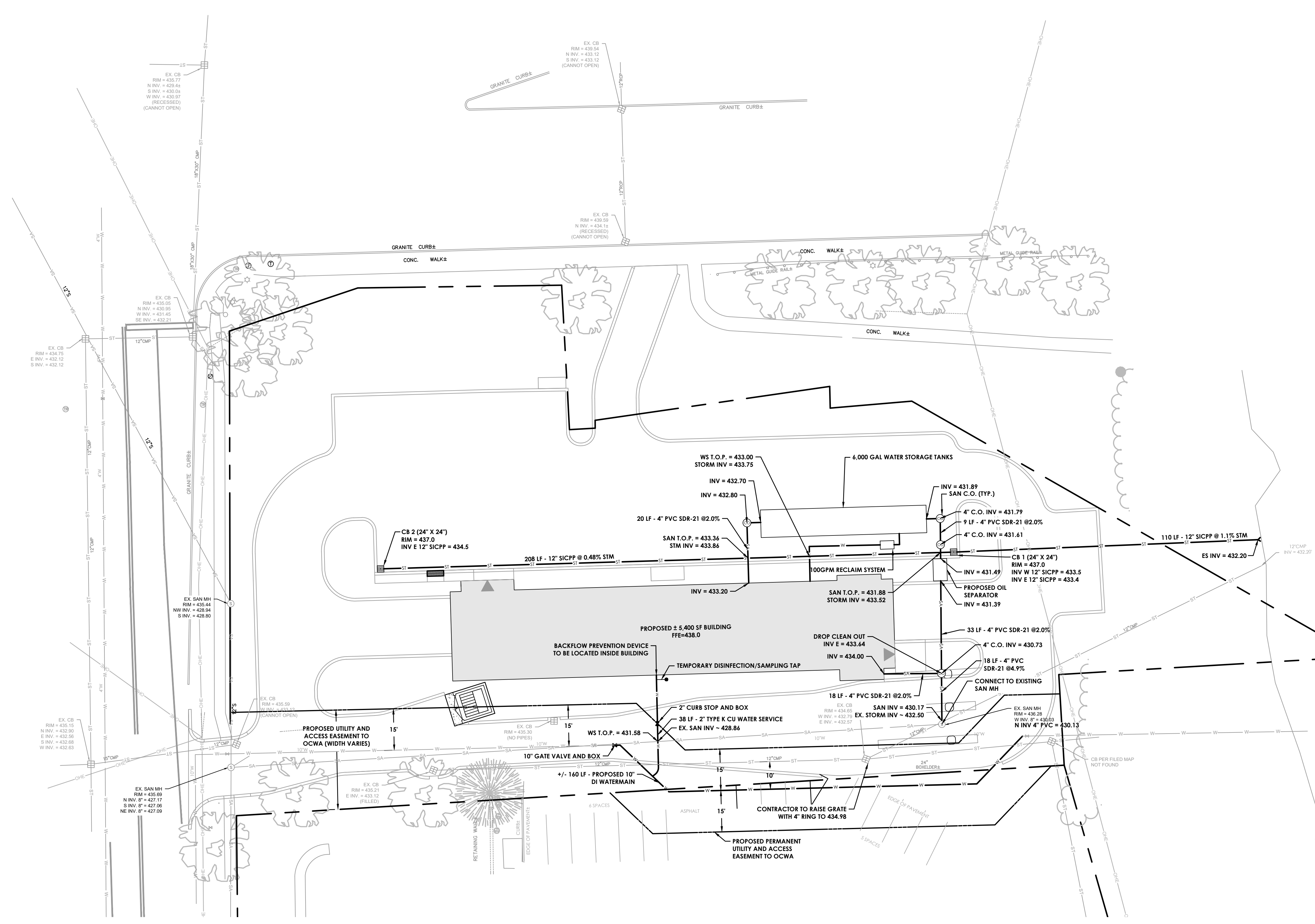
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03	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	10-24-22

**129 W GENESEE STREET
 SPLASH CAR WASH**
 VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: **SITE PLAN**

APPROVED BY: ESM PROJ. NO.: 72220023
 CAK DATE: 6-24-22 PAGE SIZE: ANSI D

REV: **03** DRAWING NO: **C3**



UTILITY NOTE:

- CONTRACTOR TO ACCESS/ASSESS THE CONDITION OF THE EXISTING STORM SEWER SYSTEM PRIOR TO CONSTRUCTION. ANY EXISTING STORM INFRASTRUCTURE FOUND TO BE SUB-STANDARD SHALL BE REPLACED IN KIND.



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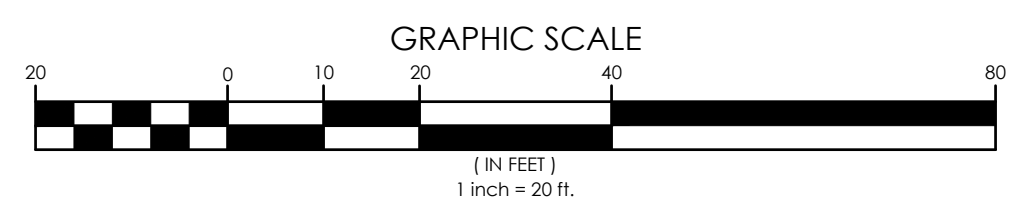
129 W GENESEE STREET
SPLASH CAR WASH
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: **UTILITY PLAN**

GRS APPROVED BY: ESM PROJ. NO.: 72220023
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REV: **03** DRAWING NO: **C4**



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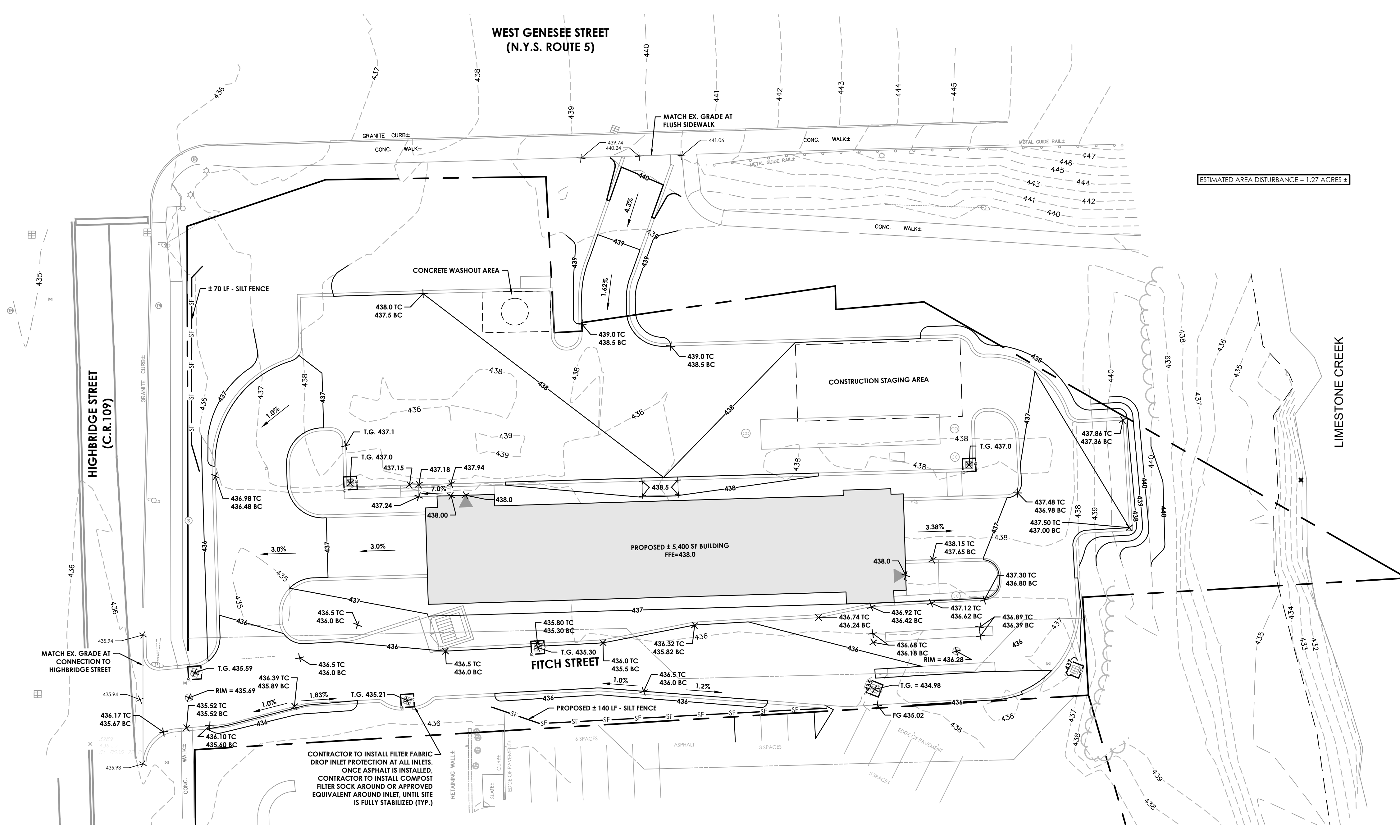
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129 W GENESEE STREET
 SPLASH CAR WASH
 VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: GRADING PLAN

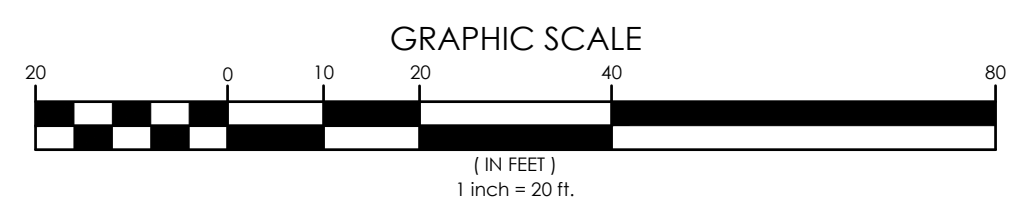
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REV: 03 DRAWING NO: C5



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Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Distribution
	SL31	13	Spring City Electrical Manufacturing Co	RHS-LE060-1HC-40-FM3-YPLF	Cast aluminum housing, frosted acrylic lens enclosure.	5330	0.92	60	
	SLW	6	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 4000K color temperature 120-277 Volt	5896	0.92	47.77	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1



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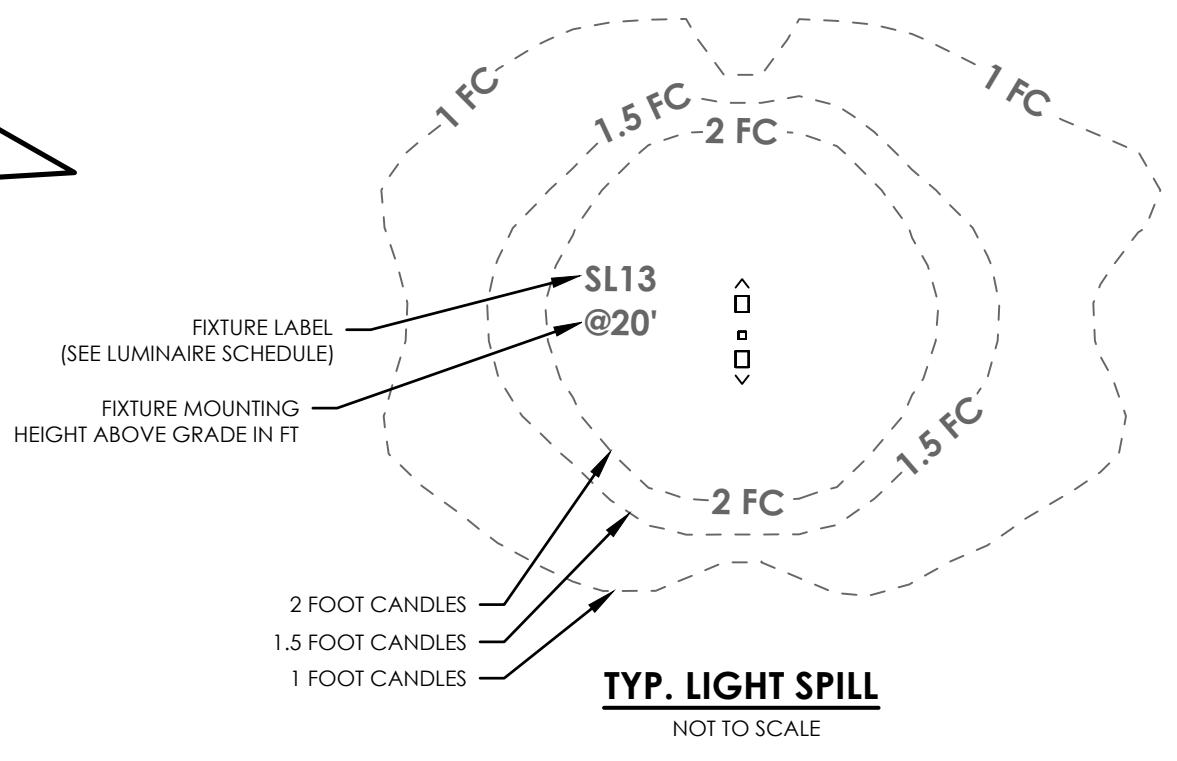
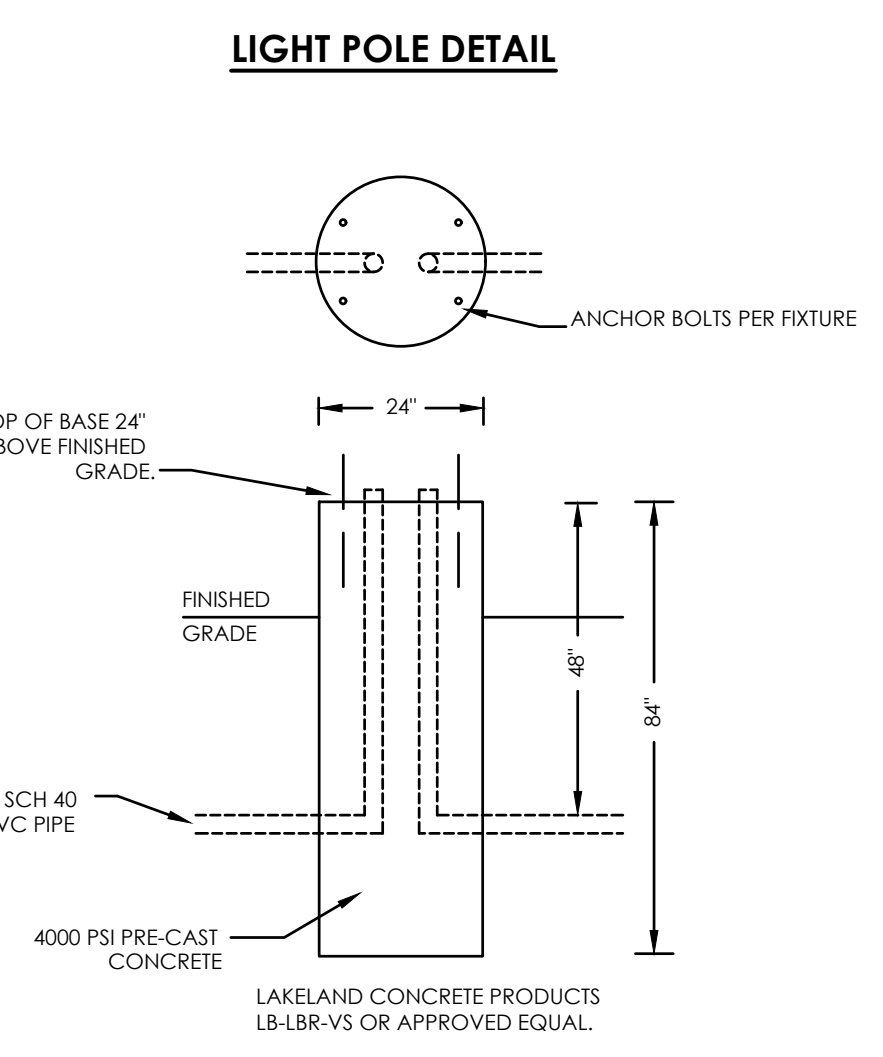
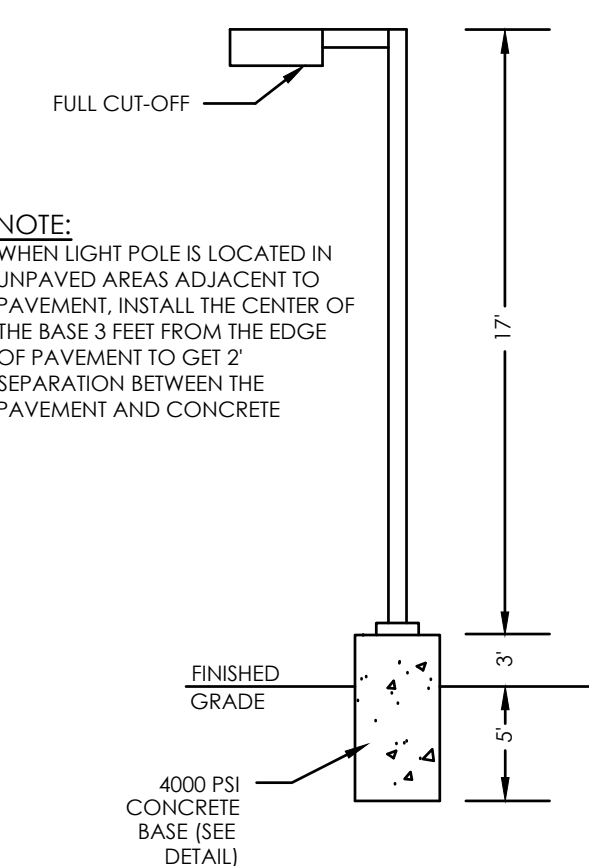
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129 W GENESEE STREET
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VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: LIGHTING PLAN

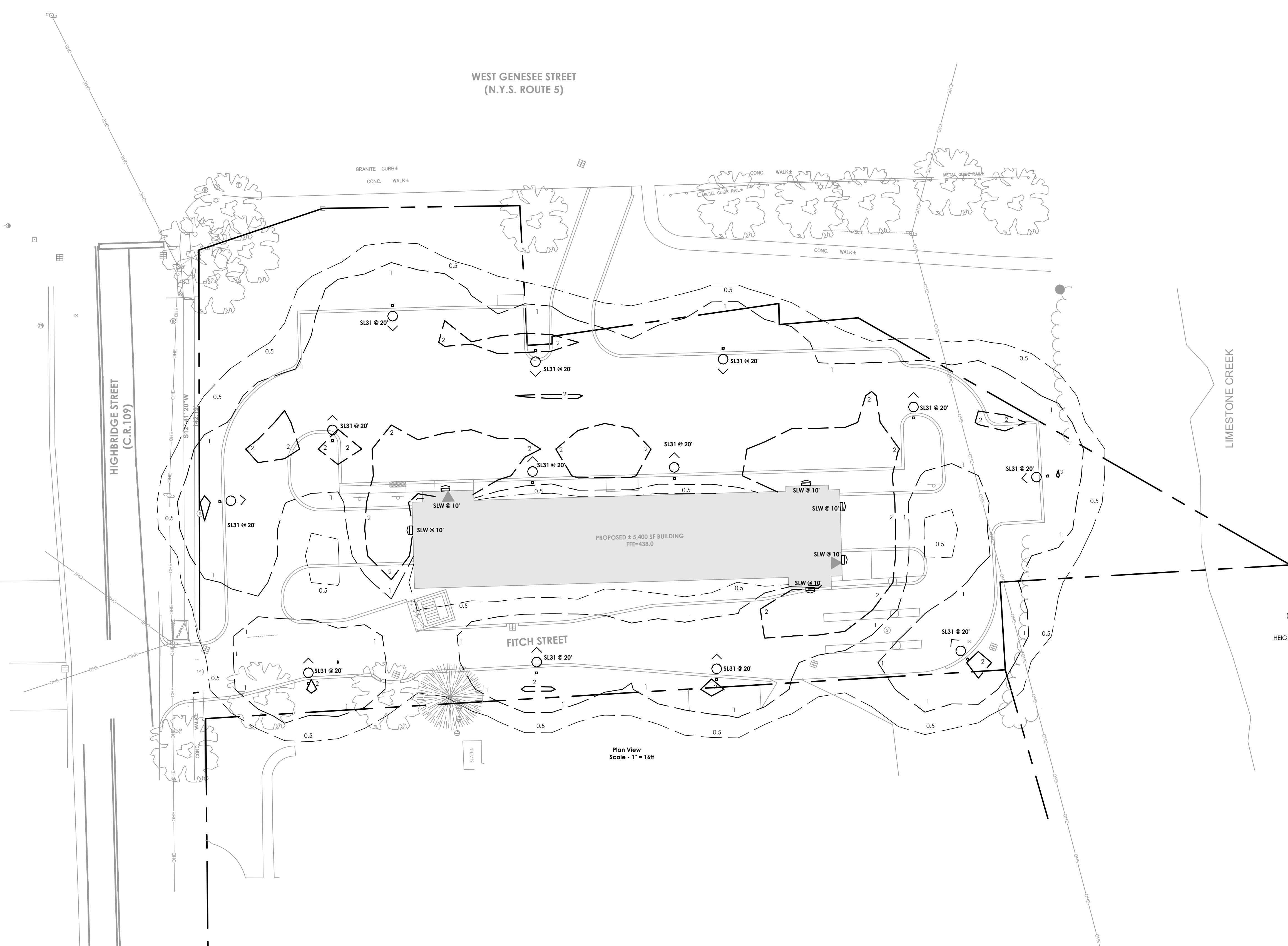
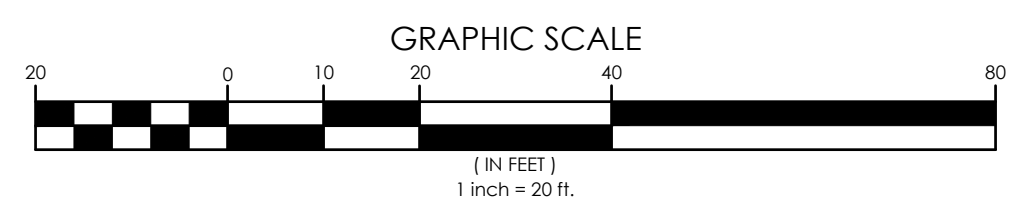
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CHECKED BY: CAK DATE: 6-24-22 PAGE SIZE: ANSI D

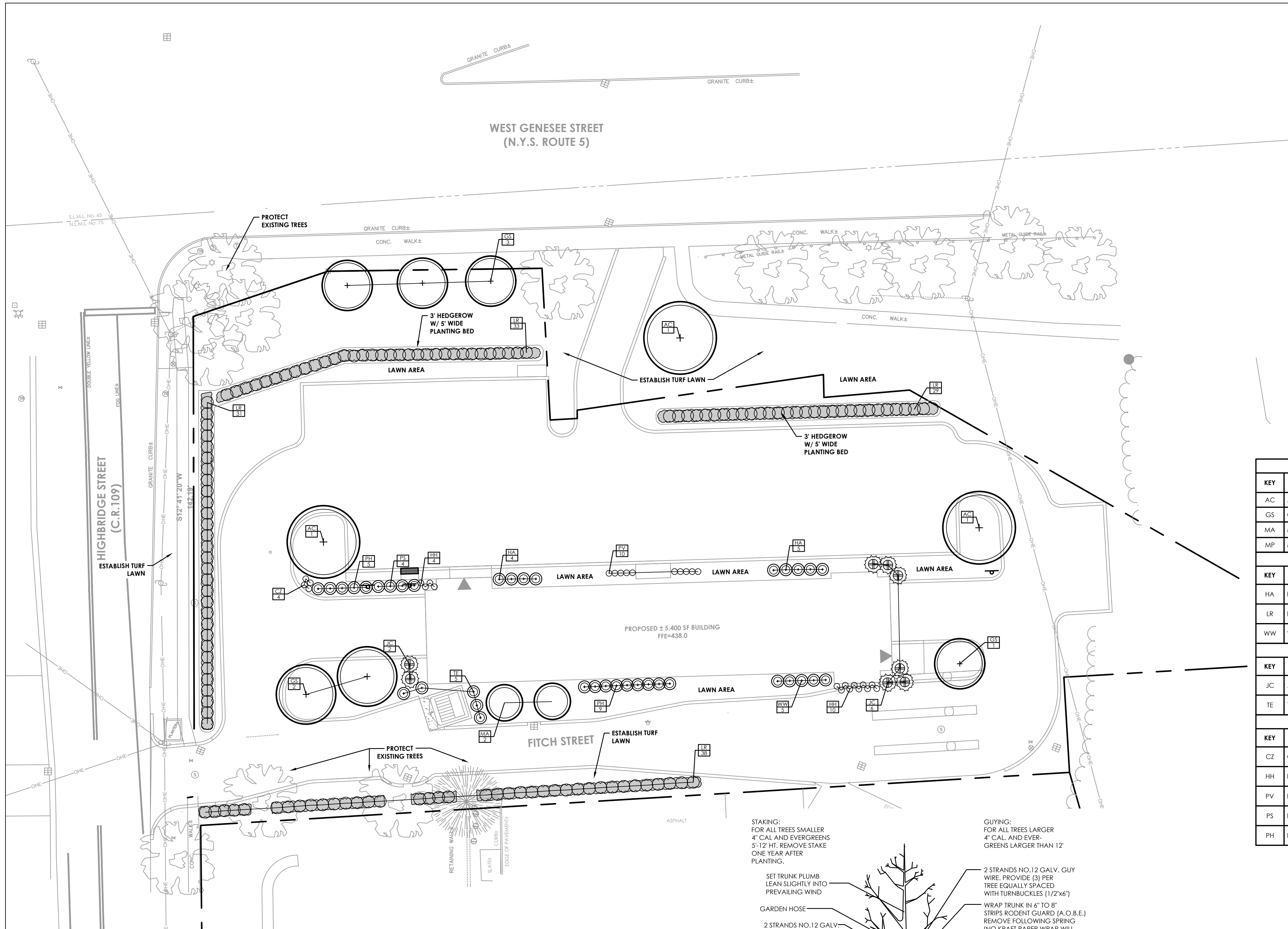
REV: 03 DRAWING NO: C6



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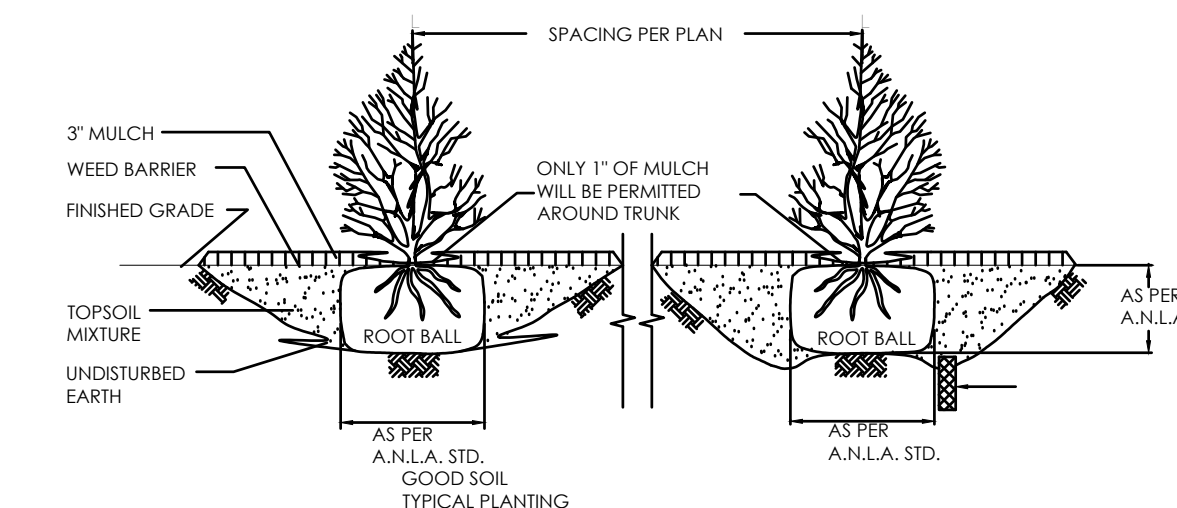


PLANTING NOTES

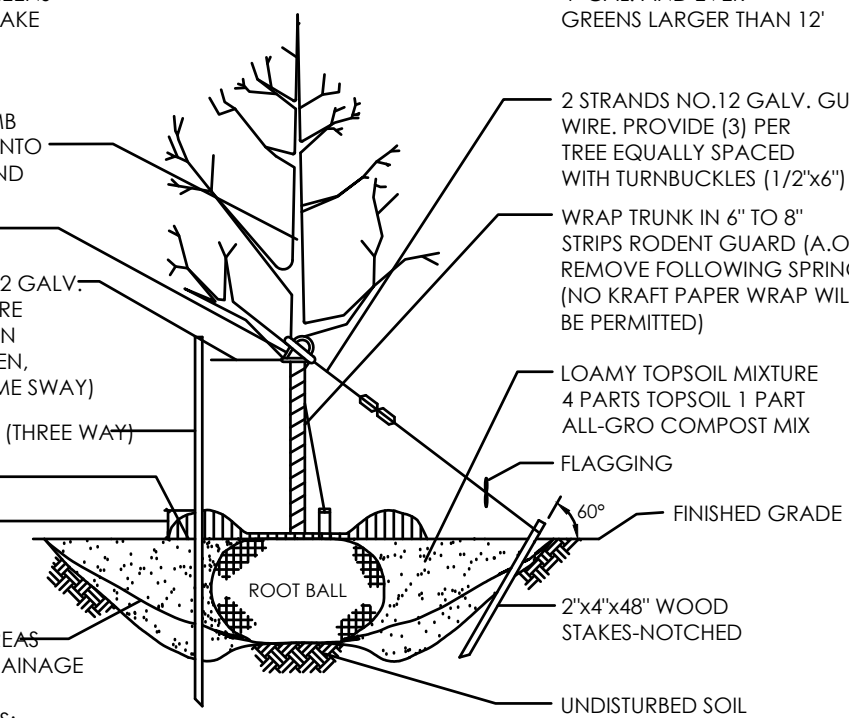
- MULCH AROUND INDIVIDUAL PLANTS ONLY. SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE PRETREATMENT AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
- THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE.
- ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" X 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHALL BE TILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE MIN. SIX INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- NO IRRIGATION SYSTEM TO BE INSTALLED. CONTRACTOR SHALL PROVIDE HARDY TREES SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT, AND PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR MAINTENANCE/WARRANTY AGREEMENT PER THE SPECIFICATIONS.

PLANT LIST

DECIDUOUS TREES						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
AC	ACER X FREEMANII 'Celebration'	CELEBRATION MAPLE	3	2 1/2 - 3" CAL.	B&B	-
GS	GLEDITSIA TRIA, INER. 'STREET KEEPER'	STREET KEEPER HONEY LOCUST	6	2 1/2 - 3" CAL.	B&B	-
MA	MALLUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	2	-	-	-
MP	MALLUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	0	2" CAL.	B&B	-
DECIDUOUS SHRUBS						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
HA	HYDRANGEA ARBO. 'ANNABELLE'	ANNABELLE HYDRANGEA	9	24 - 30" HT.	#5 CONT.	-
LR	LIGUSTRUM AMURENSE	AMUR PRIVET	102	30" HT.	B&B	4' O.C.
WW	WEIGELA FLOR. 'WINE AND ROSES'	WINE AND ROSES WEIGELA	5	30" HT.	#5 CONT.	4' O.C.
EVERGREEN SHRUBS						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
JC	JUNIPERUS SABINA 'CALGARY'	CALGARY CARPET JUNIPER	8	18" SPR.	#3 CONT.	5' O.C.
TE	THUJA OCC. 'ELEGANTISSIMA'	ELEGANTISSIMA ARBORVITAE	5	5'-6" HT.	B&B	-
GRASS AND PERENNIALS						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
CZ	COREOPSIS VERT. 'ZAGREB'	ZAGREB COREOPSIS	4	#2 CONT.	CLUMP	-
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	14	#2 CONT.	CLUMP	-
PV	PANICUM VIRG. 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	10	#3 CONT.	CLUMP	-
PS	PANICUM VIRG. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	4	#3 CONT.	CLUMP	-
PH	PENNISETUM ALOP. 'HAMELN'	HAMELN FOUNTAIN GRASS	14	#2 CONT.	-	-

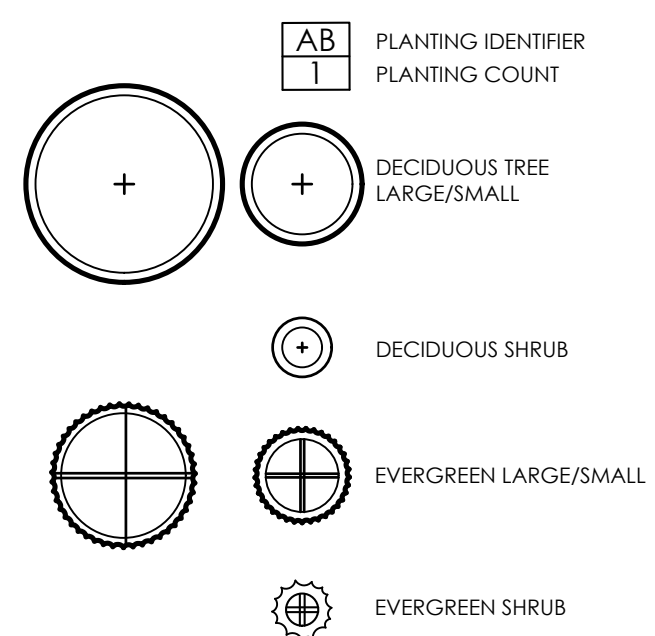


SHRUB PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

PLANTING LEGEND



VILLAGE OF FAYETTEVILLE APPROVALS

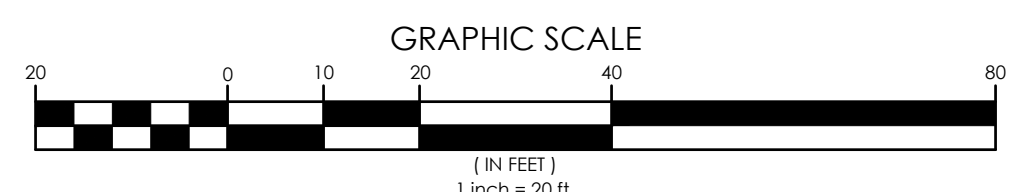
PLANNING BOARD CHAIRMAN _____ DATE _____

DIRECTOR OF BUILDING & FIRE PREVENTION _____ DATE _____

FIRE MARSHAL _____ DATE _____

DIRECTOR OF ENGINEERING & PLANNING _____ DATE _____

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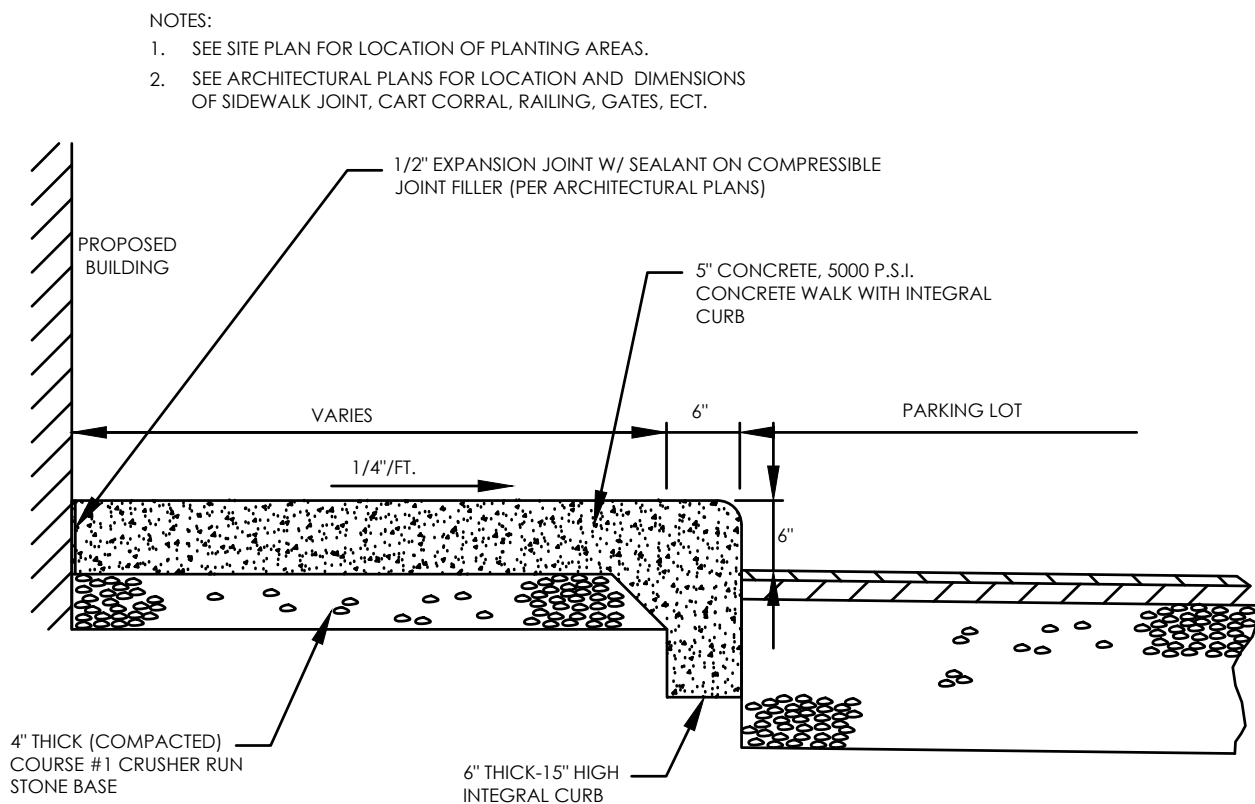
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129 W GENESEE STREET
SPLASH CAR WASH
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

DRAWING TITLE: **LANDSCAPE PLAN**

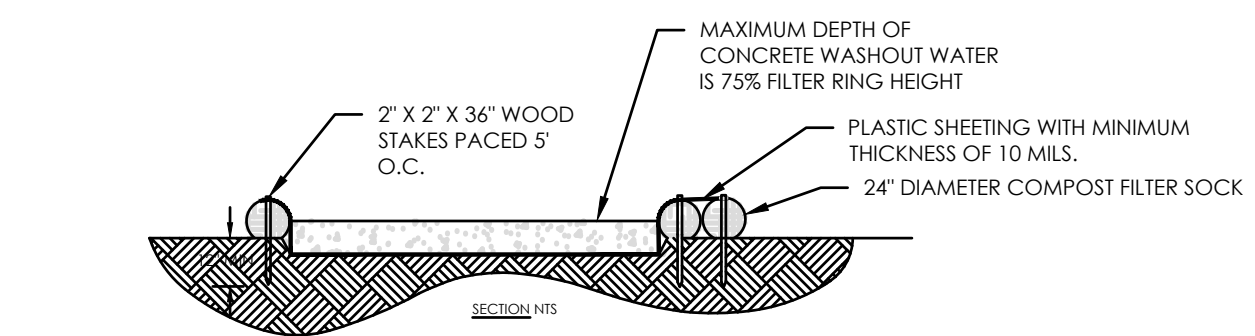
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REV: **03** DRAWING NO: **C7**



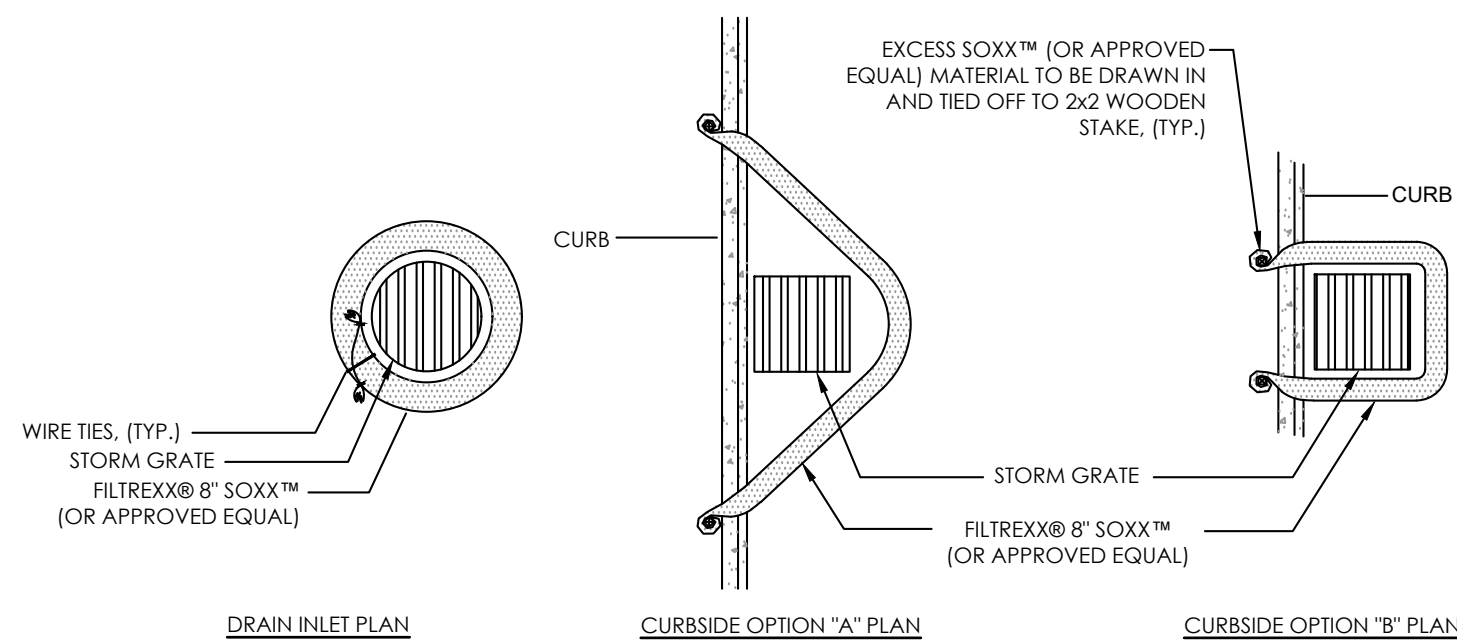
SIDEWALK INTEGRAL CURB WITH DETAIL

NOT TO SCALE



CONCRETE WASHOUT DETAIL

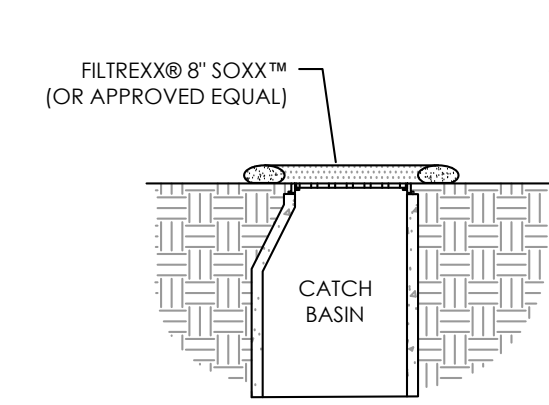
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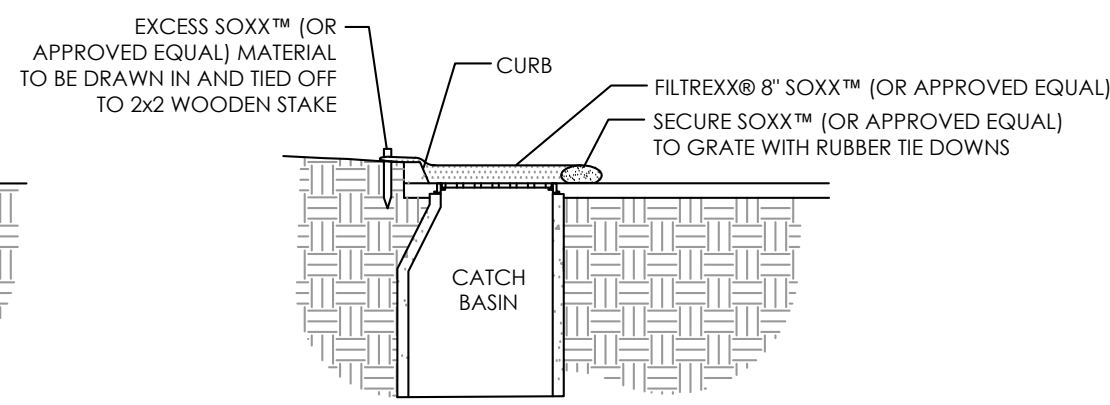
DRAIN INLET PLAN

CURBSIDE OPTION "A" PLAN

CURBSIDE OPTION "B" PLAN



DRAIN INLET SECTION

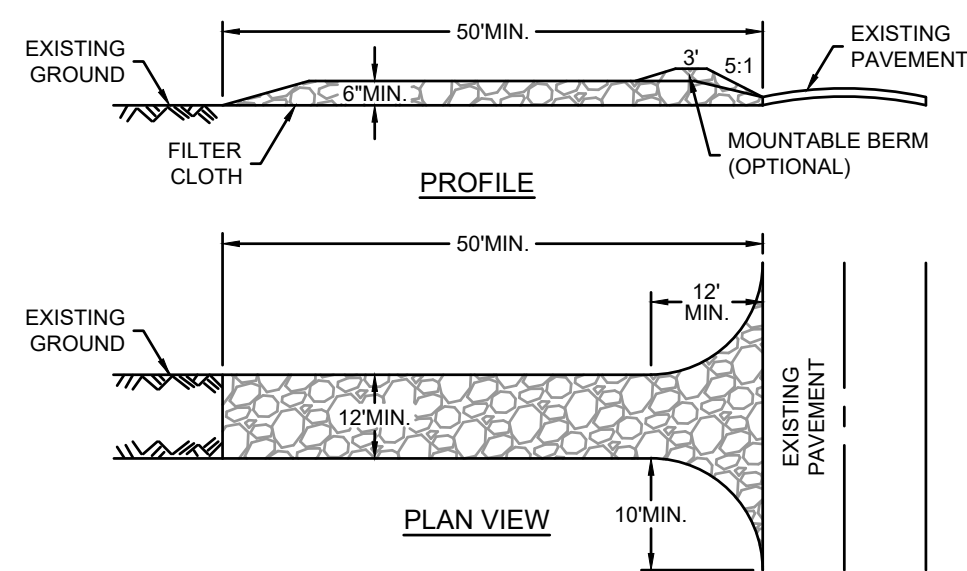


CURBSIDE SECTION

- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS (OR APPROVED EQUAL).
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS (OR APPROVED EQUAL).
 3. DETAIL OBTAINED FROM FILTREXX®

INLET PROTECTION

NOT TO SCALE

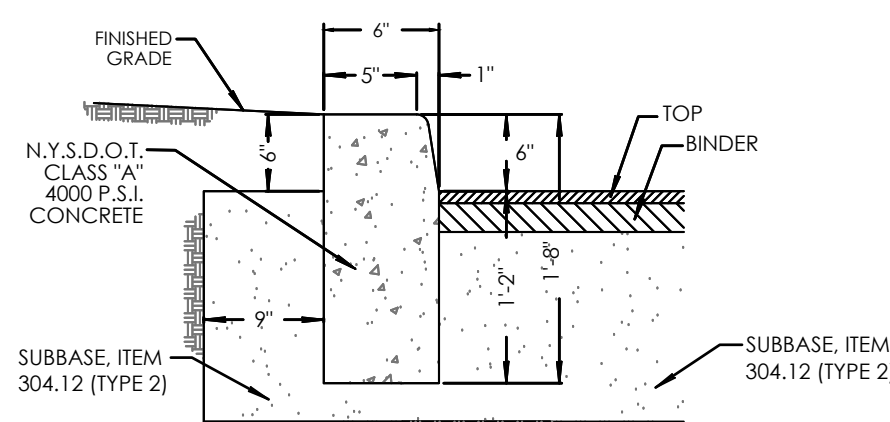


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

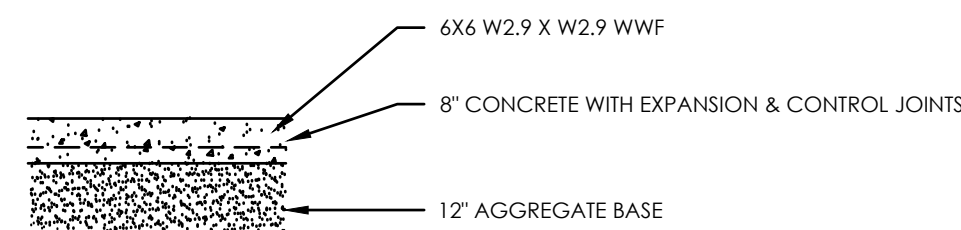


NOTES:

1. CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
2. EXPANSION JOINTS TO BE AT 100 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOLDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
3. EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
4. CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.
5. CURB SHALL BE N.Y.S.D.O.T. TYPE BB OR EQUIVALENT.

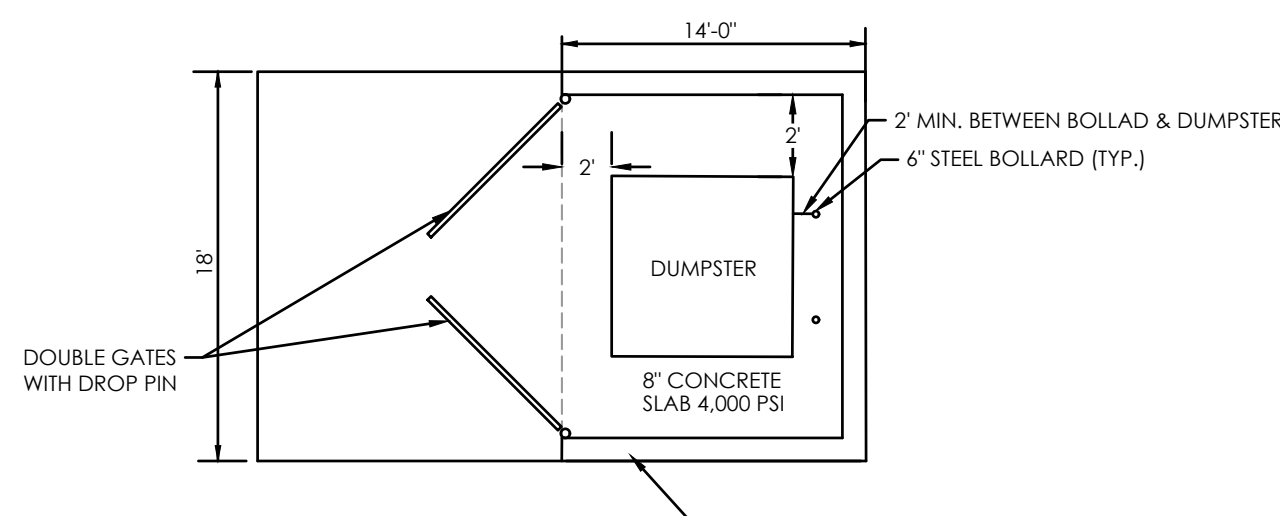
CONCRETE CURB

NOT TO SCALE



8" LOADING AND DUMPSTER CONCRETE DETAIL

NOT TO SCALE

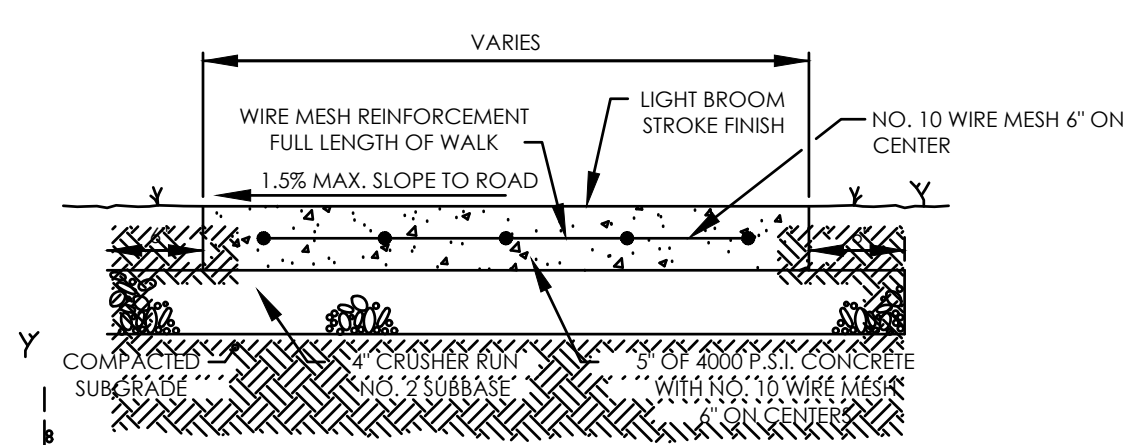


NOTE:

1. GATES TO BE 8' HIGH COMMERCIAL GRADE 9 GAUGE GALVANIZED CHAIN LINK FENCE W/ TUBULAR STEEL FRAME & GREEN VINYL INFILL SLATS.
2. ENCLOSURE BASED ON TYPICAL 4 YARD COMMERCIAL DUMPSTERS.
3. ENCLOSURE WALL HEIGHT MINIMUM 8'.

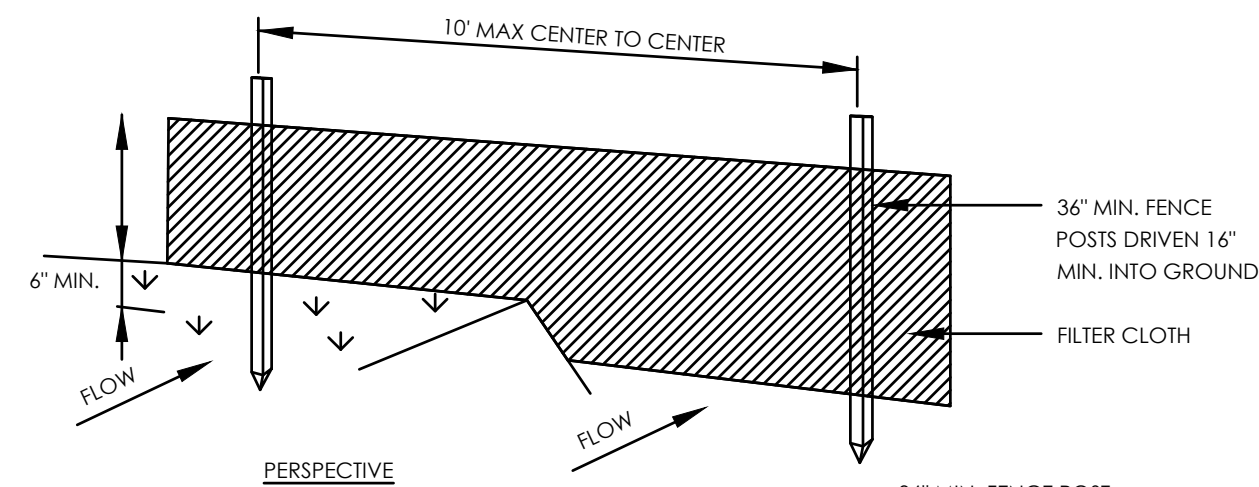
DUMPSTER ENCLOSURE

NOT TO SCALE



SIDEWALK CROSS SECTION

NOT TO SCALE



PERSPECTIVE

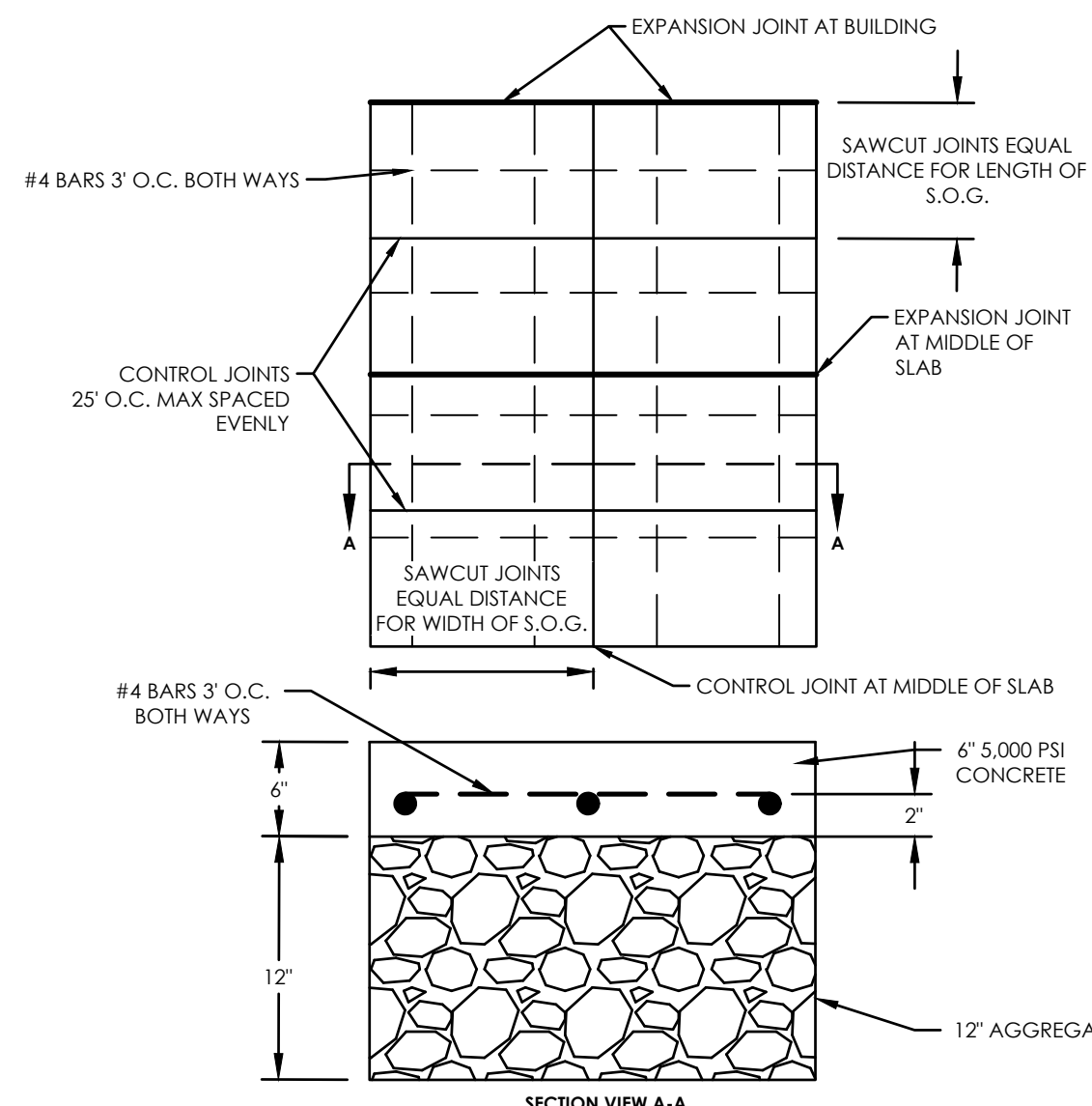
SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

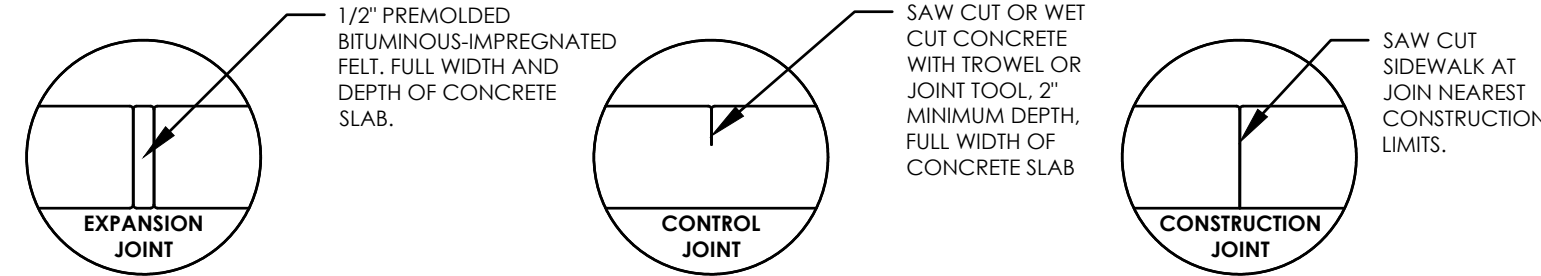
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
3. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR 2\"/>

SILT FENCE

NOT TO SCALE



SECTION VIEW A-A



PROFILE VIEW

NOT TO SCALE

TYPICAL LIGHT DUTY CONCRETE SLAB ON GRADE DETAIL



45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541



SPLASH CAR WASH, INC
472 WHEELERS FARM RD
MILFORD, CT 06461
(585) 303 - 9448



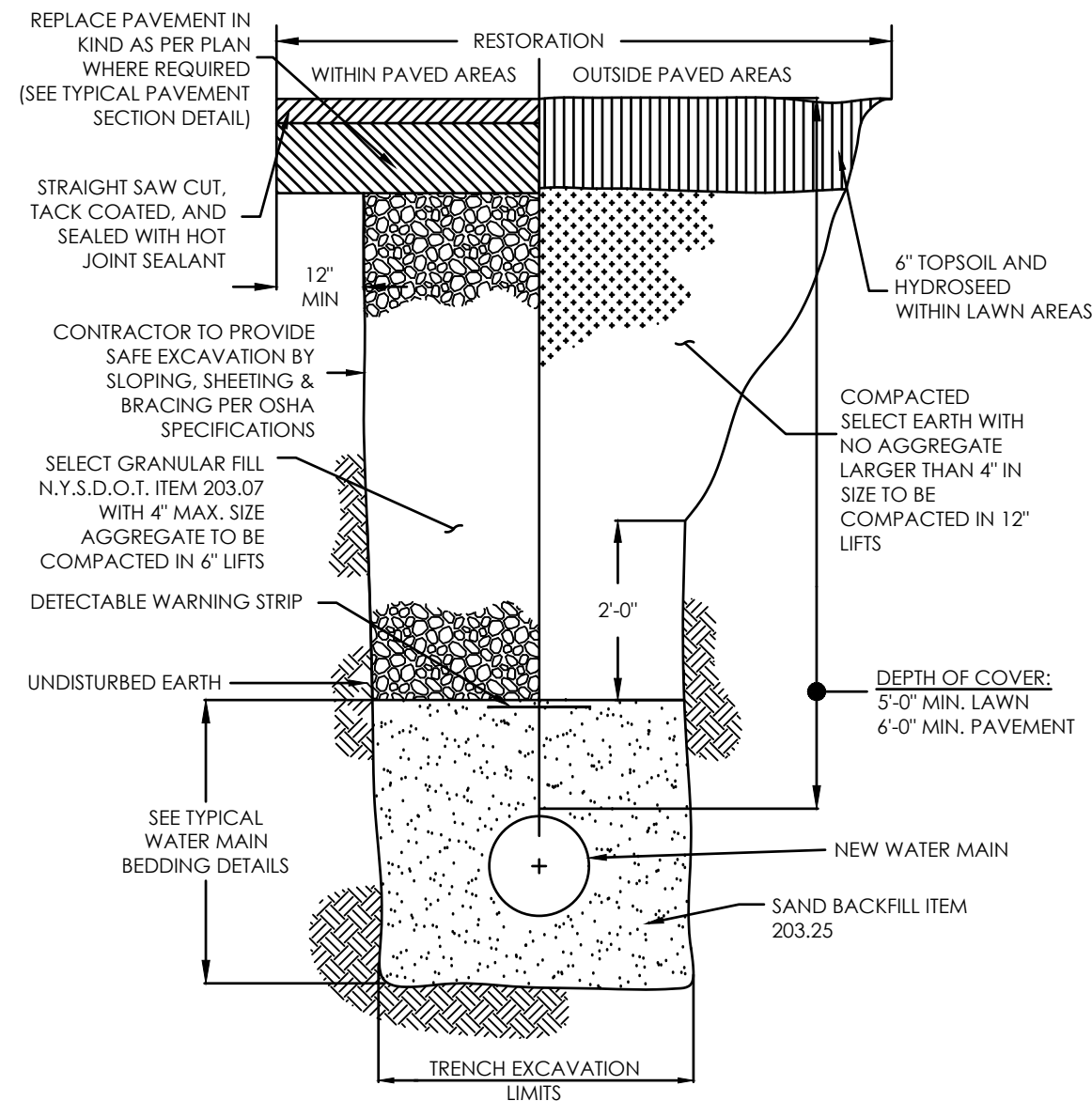
DATE	DESCRIPTION
8-29-22	REVISED PER VILLAGE PB, NYSDOT, & TOWN ENGINEER COMMENTS
9-29-22	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS
10-24-22	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS

129 W GENESEE STREET
SPLASH CAR WASH
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

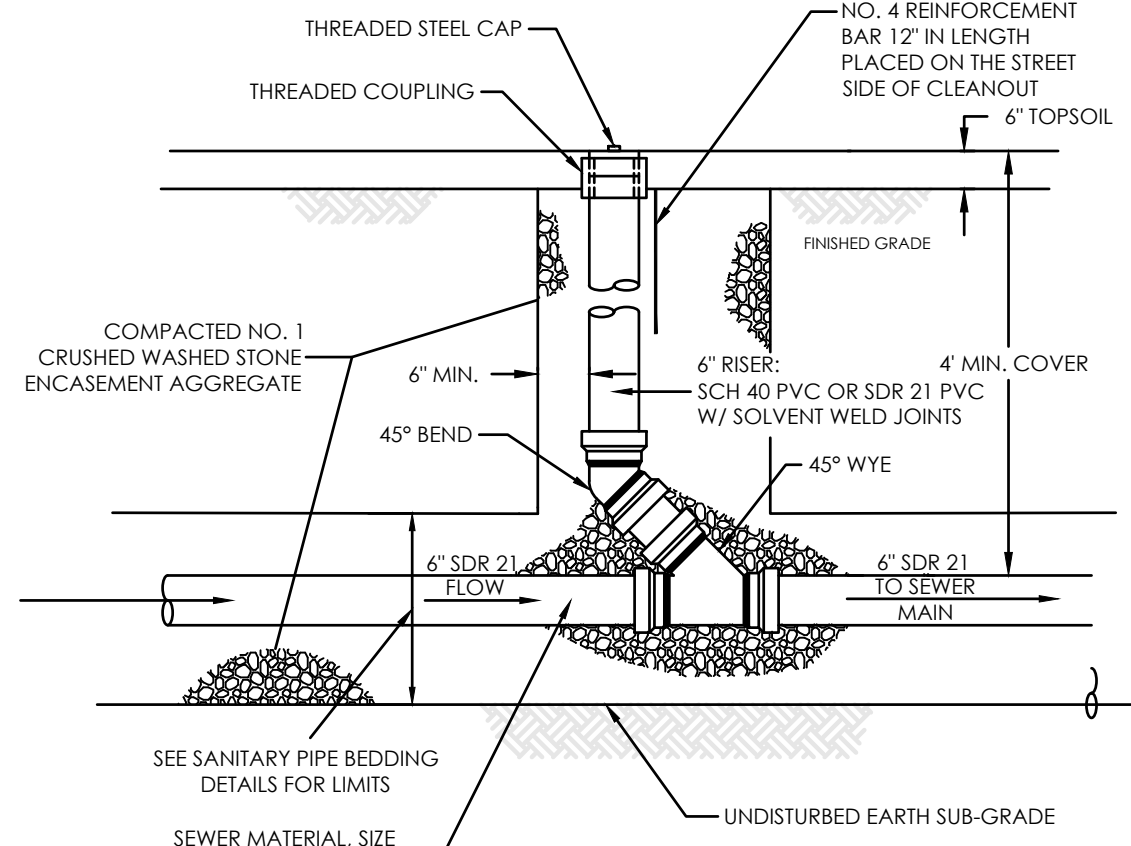
DRAWING TITLE: **CONSTRUCTION DETAILS - 1**

DRIVEN BY: ESM PROJ. NO.: 72220023
CHECKED BY: CAK DATE: 6-24-22 PAGE SIZE: ANSI D

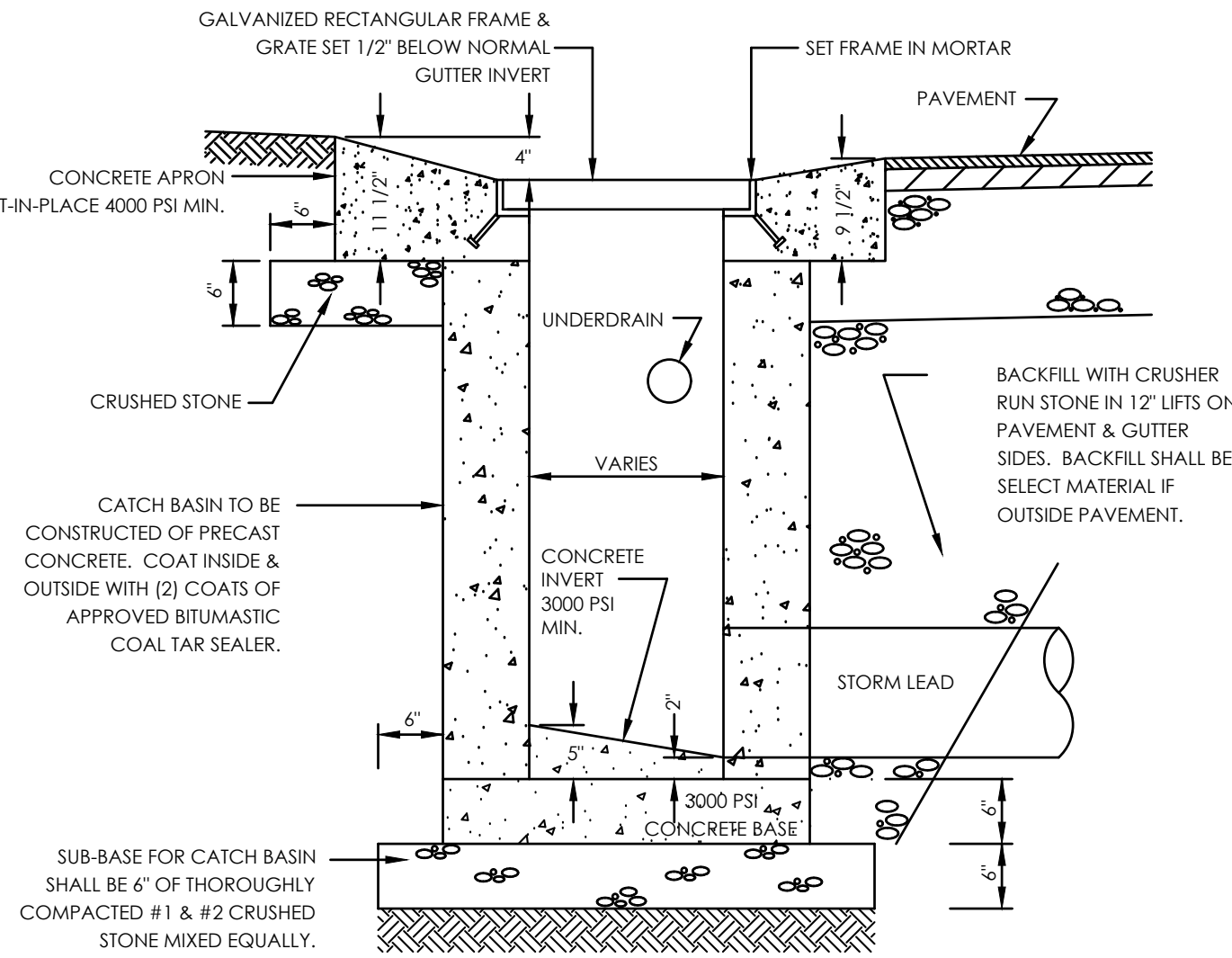
REV: **03** DRAWING NO: **C8**



WATERMAIN TRENCH DETAIL
NOT TO SCALE

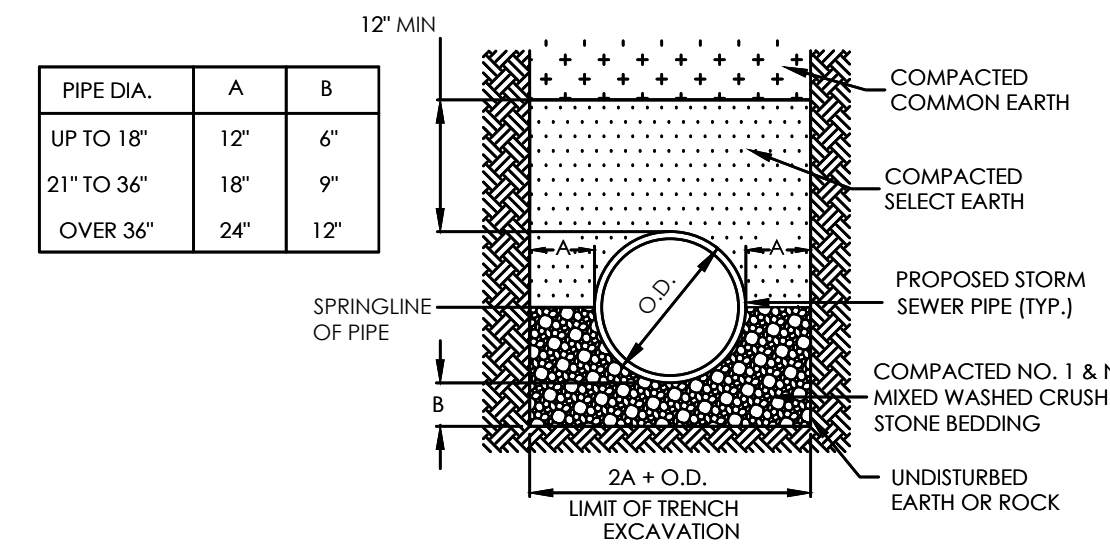


SANITARY LATERAL CLEANOUT
NOT TO SCALE

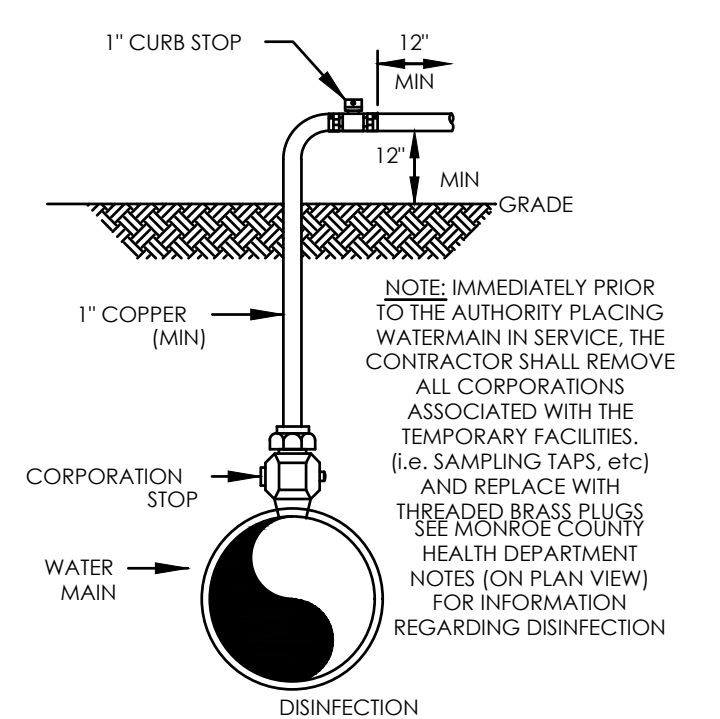


CATCH BASIN DETAIL
NOT TO SCALE

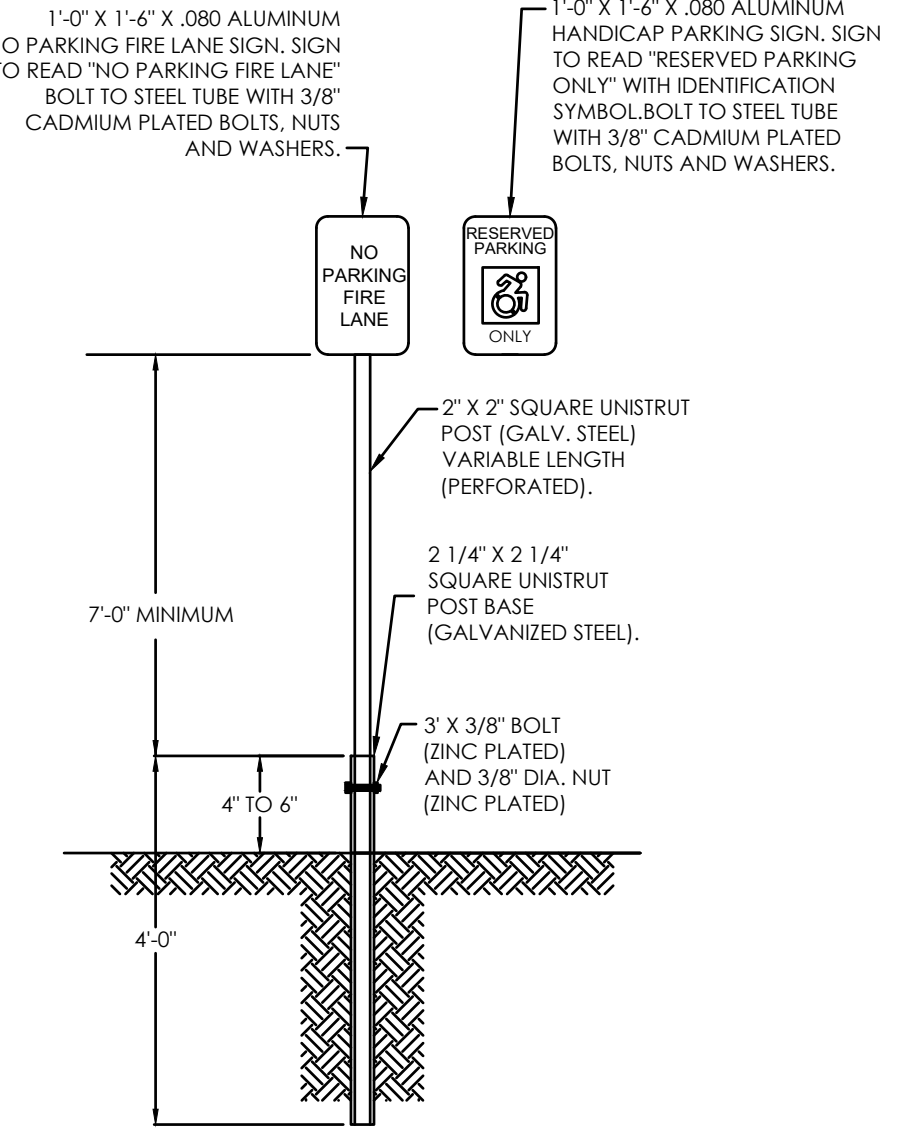
- NOTES:**
1. ALL STORM SEWER PIPE SHALL BE 12" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35) OR HEAVY DUTY CORRUGATED POLY-ETHYLENE (PE) SMOOTH INNER WALL TYPE D BELL & SPIGOT TYPE & RUBBER GASKET.
 2. ALL STORM LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 3. SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 4. STONE ENCASUREMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS.



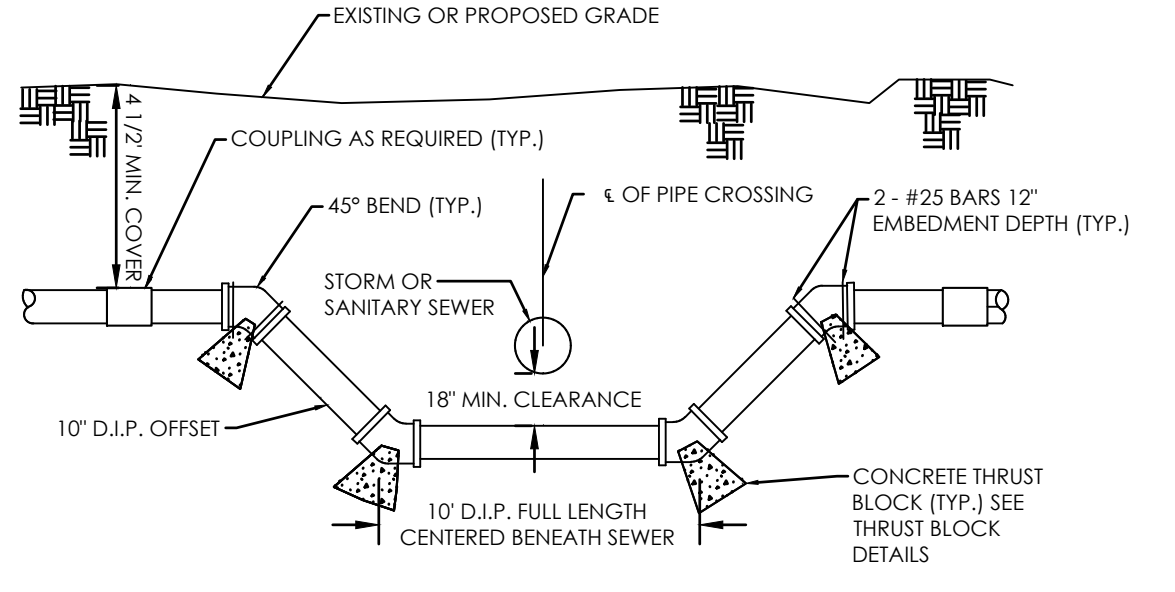
TYPICAL STORM BEDDING DETAIL
NOT TO SCALE



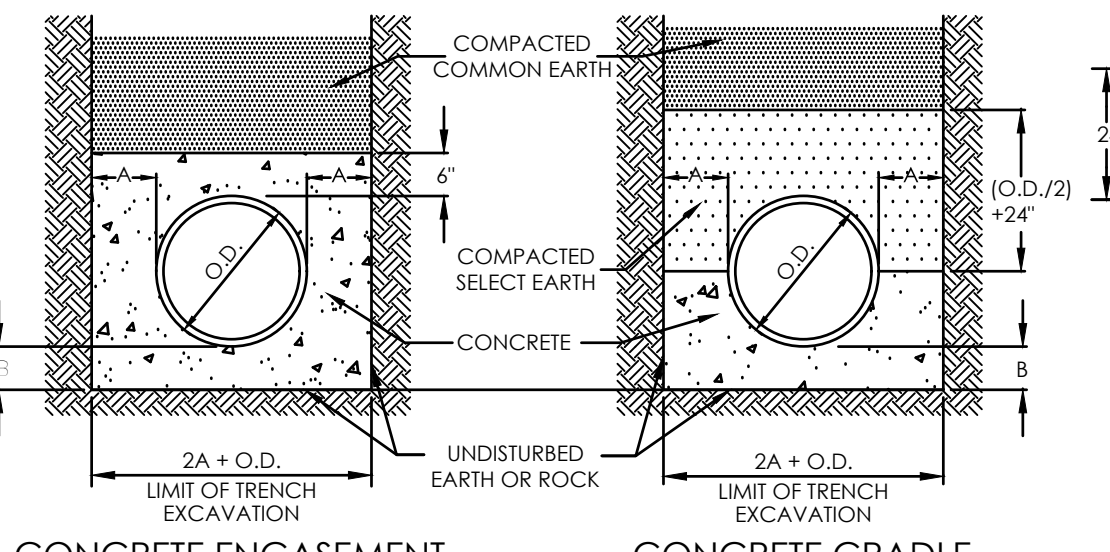
DISINFECTION/BLOW OFF/SAMPLING TAP (TEMPORARY)
NOT TO SCALE



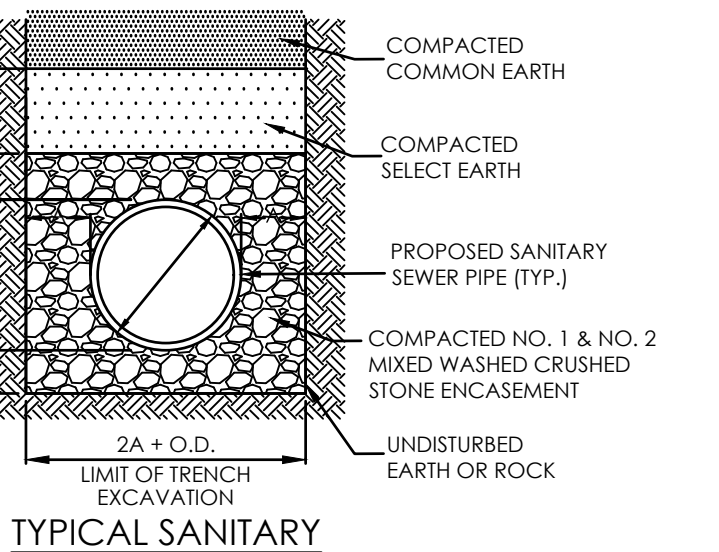
SIGN INSTALLATION DETAIL
NOT TO SCALE



WATERMAIN - SEWER CROSSING
NOT TO SCALE



CONCRETE ENCASUREMENT **CONCRETE CRADLE**

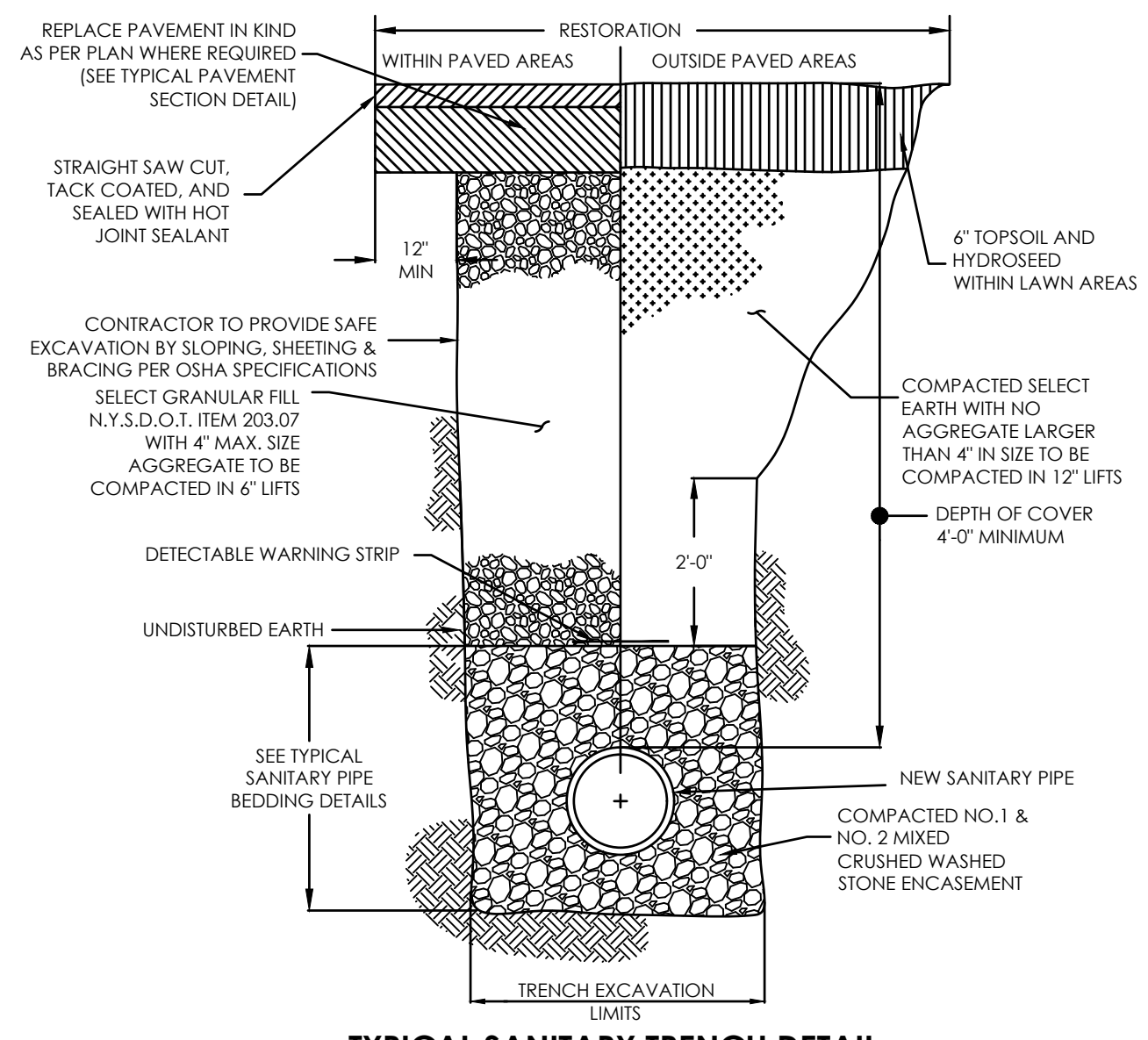


TYPICAL SANITARY BEDDING DETAIL

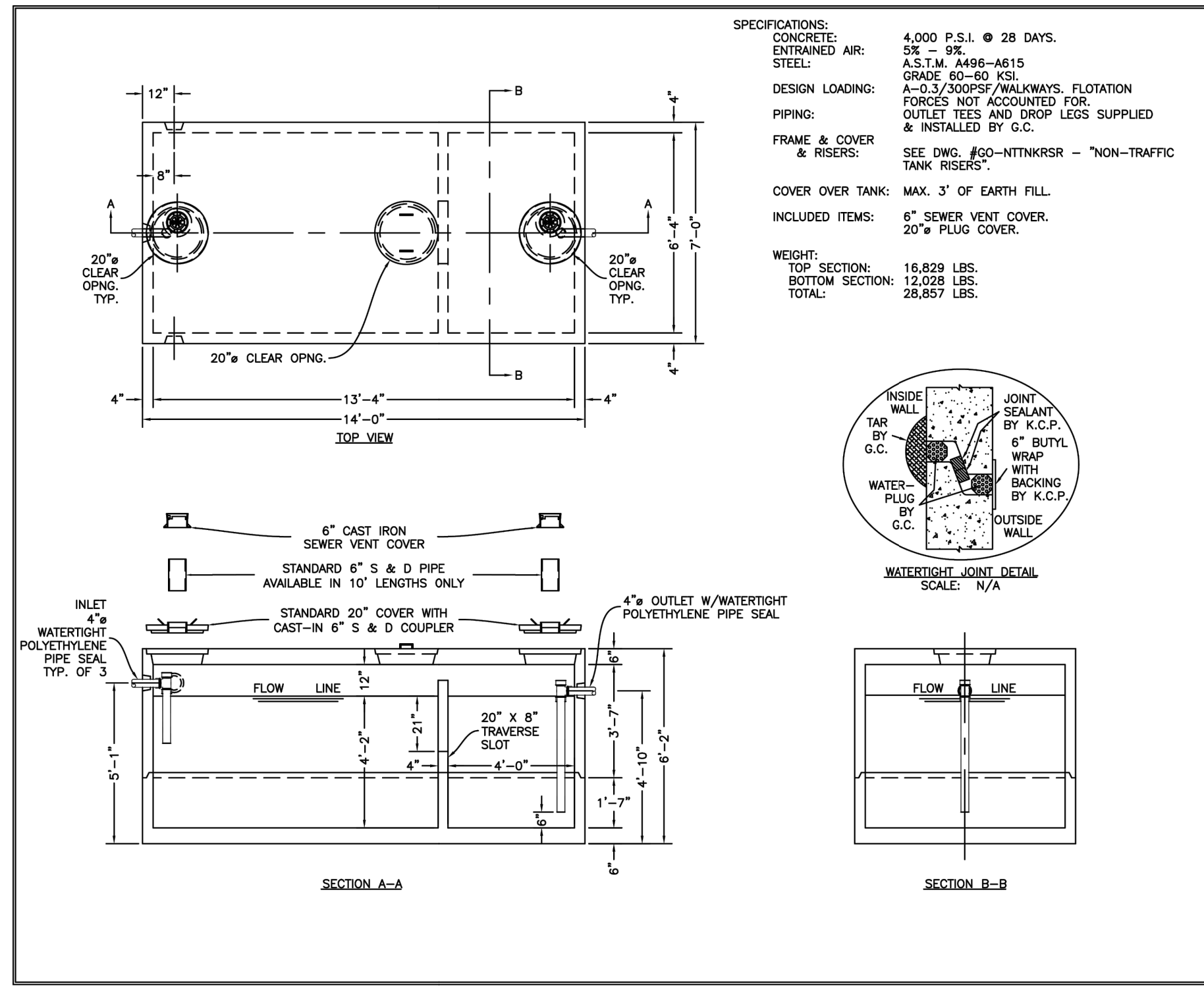
PIPE DIA.	A	B
UP TO 18"	12"	6"
21" TO 36"	18"	9"
OVER 36"	24"	12"

- NOTES:**
1. ALL SANITARY SEWER PIPE SHALL BE 8" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-35), BELL & SPIGOT TYPE & RUBBER GASKET.
 2. ALL SANITARY LATERAL PIPE SHALL BE 4" MINIMUM PIPE DIAMETER, POLYVINYL CHLORIDE PIPE (PVC SDR-21), BELL & SPIGOT TYPE & RUBBER GASKET OR SCHEDULE 40.
 3. SELECT EARTH SHALL BE SAND GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSIONS.
 4. STONE ENCASUREMENT SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT, STANDARD SPECIFICATION, MAY 1, 2008 EDITION PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
 5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS.
 6. IN GENERAL, SEWERS 30 INCHES (750 MM) OR LESS IN DIAMETER SHOULD BE LAID OUT IN A STRAIGHT LINE, AND ALIGNMENT SHOULD BE CHECKED WITH A LASER BEAM. CURVILINEAR ALIGNMENT OF SEWERS LARGER THAN 30 INCHES (750 MM) MAY BE CONSIDERED ON A CASE-BY-CASE BASIS, PROVIDED THE PIPE MANUFACTURER'S MAXIMUM ALLOWABLE PIPE JOINT DEFLECTION LIMITS ARE NOT EXCEEDED.

TYPICAL SANITARY PIPE BEDDING DETAIL



TYPICAL SANITARY TRENCH DETAIL
NOT TO SCALE



- SPECIFICATIONS:**
- CONCRETE: 4,000 P.S.I. @ 28 DAYS.
 - ENTRAINED AIR: 5% - 9%
 - STEEL: A.S.T.M. A496-615
 - GRADE: 60-60 KSI
 - DESIGN LOADING: A-1.5/300PSF/WALKWAYS, FLOTATION FORCES NOT ACCOUNTED FOR.
 - PIPE: OUTLET TEES AND DROP LEGS SUPPLIED & INSTALLED BY G.C.
 - FRAME & RISERS: SEE DWG. #GO-NTNKRSR - "NON-TRAFFIC TANK RISERS".
 - COVER OVER TANK: MAX. 3" OF EARTH FILL.
 - INCLUDED ITEMS: 6" SEWER VENT COVER, 20" PLUG COVER.
 - WEIGHT: TOP SECTION: 16,829 LBS., BOTTOM SECTION: 12,028 LBS., TOTAL: 28,857 LBS.

PROQUEST DESIGNATION
2500 GALLON OIL SEPARATOR

LEWIS ENGINEERS
REGISTERED PROFESSIONAL ENGINEER
NO. 14365
STATE OF NEW YORK
7 (16) 14365-2427

ESM **OS-052500**



45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541



SPLASH CAR WASH, INC
472 WHEELERS FARM RD
MILFORD, CT 06461
(585) 303-9448



REV	DESCRIPTION	DATE
01	REVISED PER VILLAGE PB, NYS DOT, & TOWN ENGINEER COMMENTS	8-29-22
02	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	9-29-22
03	REVISED PER VILLAGE PB & TOWN ENGINEER COMMENTS	10-24-22

129 W GENESEE STREET
SPLASH CAR WASH
VILLAGE OF FAYETTEVILLE, ONONDAGA COUNTY, NEW YORK

CONSTRUCTION DETAILS - 2

DRAWN BY: ESM PROJ. NO.: 72220023
CHECKED BY: CAK DATE: 6-24-22 PAGE SIZE: ANSI D

This drawing is property of Spring City Electrical Mfg. Co. and is issued to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

STYLE: RANCH SMALL WITH SQUARE FITTER
 HEIGHT: 23 5/8"
 WIDTH: 16" SQUARE
 MATERIAL: CAST ALUMINUM ALLOY A.N.S.I. 356 PER A.S.T.M. B26-96
 PANEL: PLEASE SELECT ACRYLIC PANEL MATERIAL BELOW
 FINISH: POWDER COAT - PLEASE SPECIFY WITH RAL NUMBER
 LAMPING: PLEASE SELECT WATTAGE BELOW
 VOLTAGE: ELECTRICAL WIRE AT 120-277 VOLTS
 COLOR TEMP: PLEASE SELECT COLOR TEMPERATURE BELOW
 OPTICAL SYSTEM: PLEASE SELECT DISTRIBUTION BELOW
 SURGE: 10KV
 MODIFIER: 6-PANE CAGE PANELS
 CATALOG NO.: ALMRHS-M1-LE -EVX-1HC - - - - -CP6-CU

CAT. NO.	LED WATTAGE
LE020	20 WATTS
LE030	30 WATTS
LE040	40 WATTS
LE050	50 WATTS
LE060	60 WATTS

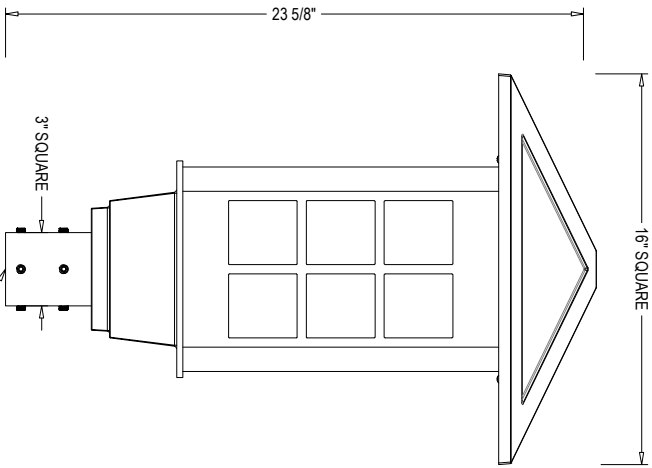
OTHER WATTAGES AVAILABLE UPON REQUEST

CAT. NO.	PANEL MATERIAL
YPL0	CLEAR ACRYLIC
YPLF	LED GRADE FROSTED ACRYLIC
YPLW	WHITE ACRYLIC
YSDP	SEDED ACRYLIC
YS1P	STIPPLED ACRYLIC

CAT. NO.	COLOR TEMP.
22	2200K
27	2700K
30	3000K
40	4000K
45	4500K

OTHER COLOR TEMPERATURES AVAILABLE UPON REQUEST

CAT. NO.	OPTICAL SYSTEM
CR3	TYPE III
CR4	TYPE IV
CNS	TYPE V
FM3	TYPE III (FROSTED)
FM4	TYPE IV (FROSTED)



SQUARE LUMINAIRE FITTER TO ACCEPT 2.318" DIA. X 3" HIGH TENON

INTEGRATED LIGHTING CONTROL PROVISIONS ARE AVAILABLE UPON REQUEST

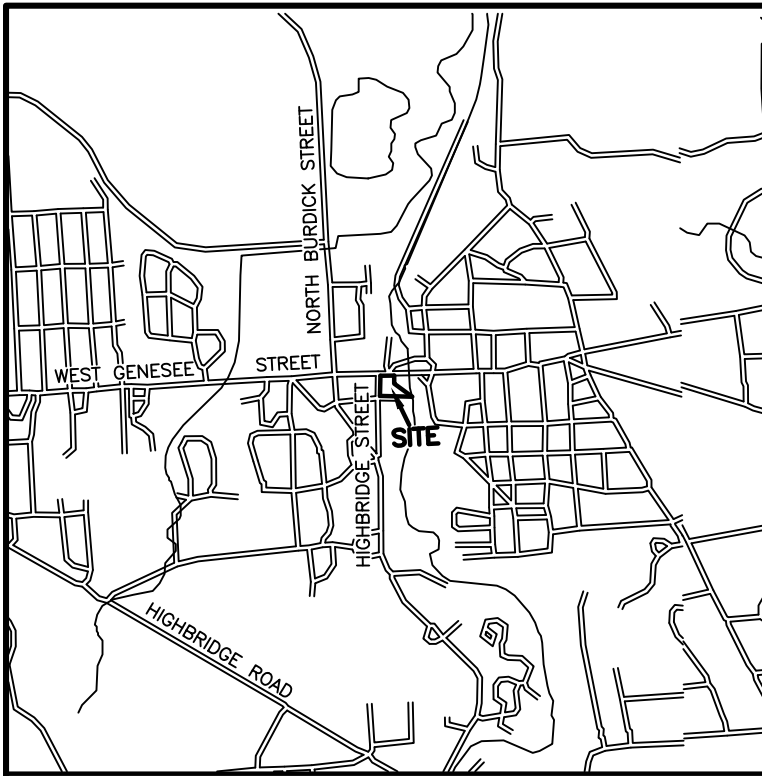
Spring City Electrical Mfg. Co.

HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475
 PHONE (610) 948-4000 - FAX (610) 948-5577 - WWW.SPRINGCITY.COM



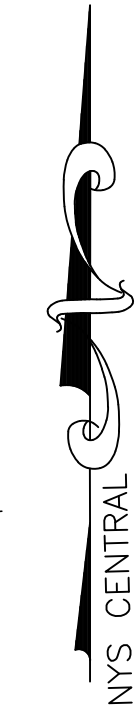
DESCRIPTION

THE RANCH SMALL LED LUMINAIRE WITH SQUARE FITTER



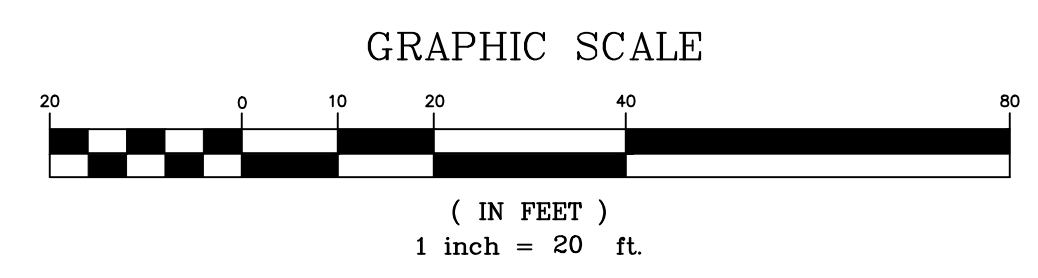
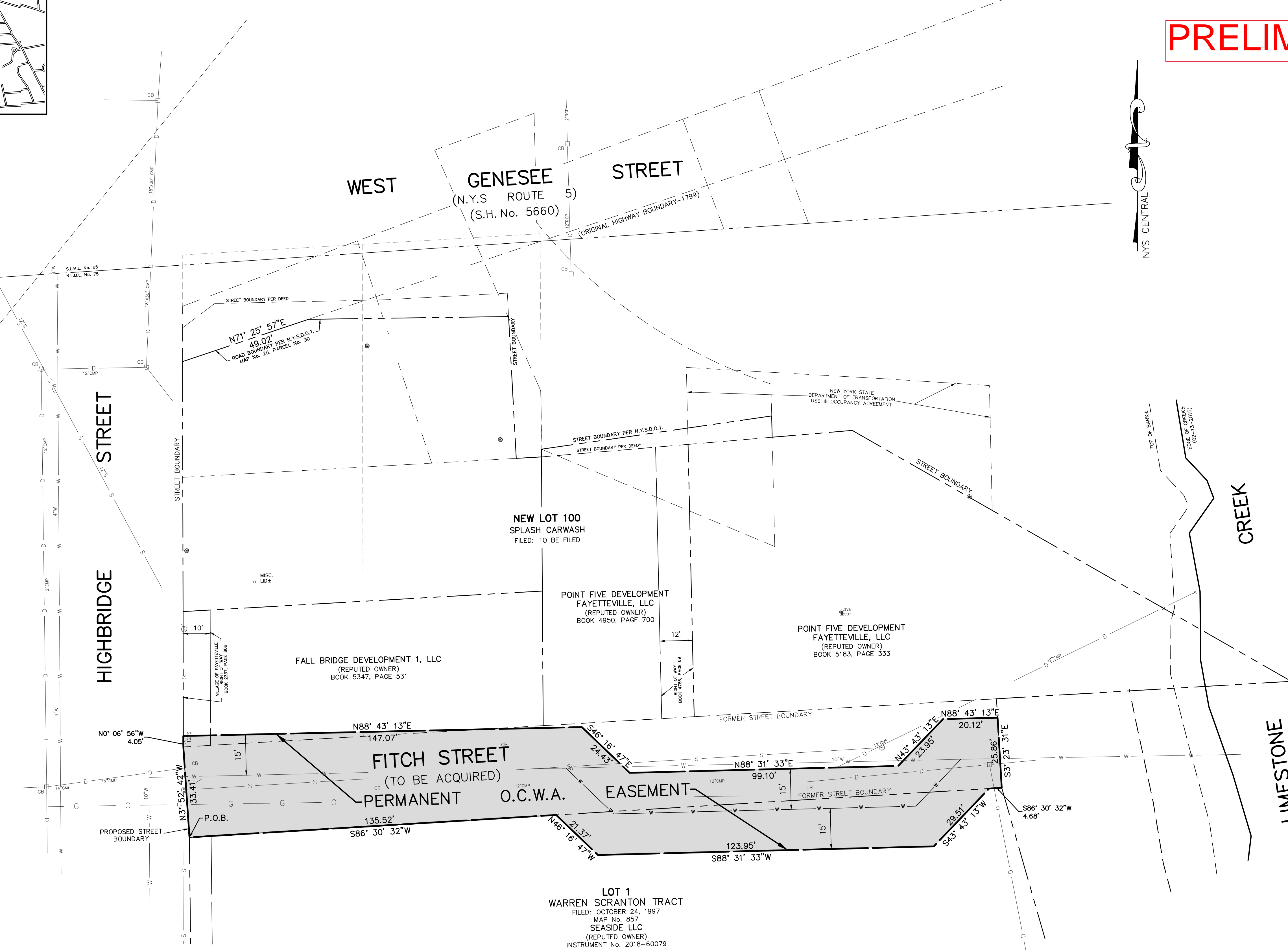
LOCATION PLAN
Scale: 1" = 2000'

PRELIMINARY



LEGEND:

- indicates light stand
- indicates utility pole, anchor & overhead lines
- indicates iron pipe and/or monument found
- indicates bollard
- indicates sign
- indicates storm culvert
- indicates gas main, gas valve & gas line marker
- indicates water main, water valve & hydrant
- indicates storm sewer, catch basin & manhole
- indicates sanitary sewer, sewer vent & manhole
- indicates underground telephone line, manhole & box
- indicates underground electric line & manhole
- indicates underground television cable & box
- indicates 6" diameter monitoring well (typical)
- indicates grease trap manhole
- indicates manhole
- indicates boundary line
- indicates adjacent parcel line
- indicates old/original parcel line
- indicates easement line
- indicates centerline road



Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

REVISIONS	RIGHT-OF-WAY FOR ONONDAGA COUNTY WATER AUTHORITY TO BE ACQUIRED FROM FALLS BRIDGE DEVELOPMENT 1, LLC & SEASIDE LLC. VILLAGE OF FAYETTEVILLE PART OF LOT No. 75 TOWN OF MANLIUS ONONDAGA COUNTY, NEW YORK		
	DATE: OCTOBER 24, 2022	SCALE: 1" = 20'	
IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251		FILE NO: 13154.003	F.B. NO. 1501

R.O.W. No. 567
13154.003
PR
10-24-2022

ONONDAGA COUNTY WATER AUTHORITY
RIGHT-OF-WAY
TO BE ACQUIRED FROM
FALLS BRIDGE DEVELOPMENT 1, LLC
&
SEASIDE LLC
TOWN OF MANLIUS

All that tract or parcel of lands situate in the Village of Fayetteville, Town of Manlius, County of Onondaga and State of New York, being part of Lot No. 75 in said Town, being part of lands conveyed to Fall Bridge Development 1, LLC by deed recorded in the Onondaga County Clerk's in Book 5347 of deeds at page 531 and lands conveyed to Seaside, LLC by deed recorded in the Onondaga County Clerk's Office as Instrument No. 2018-60079 and being part of Fitch Street (to be acquired), bounded and described as follows:

ONONDAGA COUNTY WATER AUTHORITY RIGHT-OF-WAY

A permanent right-of-way bounded and described as follows:

Beginning at a point in the easterly street boundary of Highbridge Road at its intersection with the southerly street boundary of said Fitch Street (to be acquired), said point being the northwesterly corner of said lands conveyed to Seaside LLC; running thence $N3^{\circ} 52' 42''W$ along the proposed easterly street boundary of Highbridge Road, a distance of 33.41 feet to its intersection with the northerly street boundary said Fitch Street (to be abandoned); thence $N0^{\circ} 06' 56''W$ along said easterly street boundary of Highbridge Street, a distance of 4.05 feet to a point therein; thence $N88^{\circ} 43' 13''E$ through said lands conveyed to Fall Bridge Development 1, LLC and through said Fitch Street (to be acquired), respectively, a distance of 147.07 feet to a point; thence southeasterly, easterly, northeasterly and easterly through said Fitch Street (to be acquired) the following courses and distances: 1) $S46^{\circ} 16' 47''E$, 24.43 feet; 2) $N88^{\circ} 31' 33''E$, 99.10 feet; 3) $N43^{\circ} 43' 13''E$, 23.95 feet; 4) $N88^{\circ} 43' 13''E$, 20.12 feet to the easterly street boundary of said Fitch Street (to be acquired); thence $S3^{\circ} 23' 31''E$ along said easterly street boundary of Fitch Street (to be acquired), a distance of 25.86 feet to said southerly street boundary of Fitch Street (to be acquired); thence $S86^{\circ} 30' 32''W$ along said southerly street boundary of Fitch Street (to be acquired), a distance of 4.68 feet to a point therein; thence southwesterly, westerly and northwesterly through said lands conveyed to Seaside LLC the following courses and distances; 1) $S43^{\circ} 43' 13''W$, 29.51 feet; 2) $S88^{\circ} 31' 33''W$, 123.95 feet; 3) $N46^{\circ} 16' 47''W$, 21.37 feet to said southerly street boundary of Fitch Street (to be acquired); thence $S86^{\circ} 30' 32''W$ along said southerly street boundary of Fitch Street (to be acquired), a distance of 135.52 feet to the point of beginning.

Subject to any other easement or restriction of record. Preliminary easement only, to be used for planning purposes. Final easements dependent on OCWA relocation & design.